



**Township of Southgate  
Public Planning Meeting Agenda**

**March 26, 2025**

**10:30 AM**

**Holstein Council Chambers**

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	<b>Pages</b>
<b>1. Call to Order</b>	
<b>2. Public Meeting</b>	
<b>2.1 Grey County OPA 26, Township OPA2-25 and ZBA C6-25 -     Ridgeview Lumber, Con 13, Lot 18, Geographic Township of     Proton, Township of Southgate</b>	
<b>2.1.1 Background</b>	
<p>The <b>Proposal</b> includes three applications under the Planning Act: an amendment to Grey County’s Official Plan, the Township of Southgate Official Plan, and the Township’s Zoning By-Law.</p> <p>The <b>Purpose</b> of the proposed applications are to permit the expansion of an existing On-farm Diversified Use (lumber yard), including an outdoor storage area (total of 1805 m<sup>2</sup>) and proposed covered storage building (373 m<sup>2</sup>).</p>	
<b>2.1.2 Application and Notice of Public Meeting</b>	<b>5 - 80</b>
<p>Click <a href="#">here</a> for the link to the application documents on the Grey County website.</p> <p>Click <a href="#">here</a> for the link to the application documents on the Township website.</p>	
<b>2.1.3 Comments Received from Agencies and the Public</b>	<b>81 - 93</b>
<b>2.1.4 Grey County Presentation for Proposed County Official         Plan Amendment OPA 26, Cassondra Dillman,         Intermediate Planner</b>	<b>94 - 105</b>
<b>2.1.5 Questions from Council</b>	

2.1.6	<b>Applicant or Agent</b>	
2.1.7	<b>Members of the Public to Speak</b>	
2.1.8	<b>Further Questions from Council</b>	
2.2	<b>C1-25 - Norman &amp; Salome Martin (Dunside Inc.), Con 2 SWTSR Pt Lot 221, Pt Lot 222, Geographic Township of Proton, Township of Southgate</b>	
2.2.1	<b>Background</b>	
	<p>The <b>Purpose</b> of the application is to relocate the area zoned Agriculture 1 Exception 446 (A1-446) on the subject lands permitting an On Farm Diversified Use and to change the requirements of the A1-446 zone as follows:</p> <ul style="list-style-type: none"> <li>• Increase the floor area of the proposed shop from 250 square metres to 400 square metres (including the existing home industry on-site), and</li> <li>• Decrease the outdoor storage from 670 square metres to 270 square metres</li> </ul> <p>The <b>Effect</b> is to allow a 400 square metres metal works shop as an On Farm Diversified Use with 270 square metres maximum outdoor storage accessory to the existing agricultural use which includes a farm house and barn.</p>	
2.2.2	<b>Application and Notice of Public Meeting</b>	106 - 122
	Click <a href="#">here</a> for the link to the application documents on the Township website.	
2.2.3	<b>Comments Received from Agencies and the Public</b>	123 - 137
2.2.4	<b>Questions from Council</b>	
2.2.5	<b>Applicant or Agent</b>	
2.2.6	<b>Members of the Public to Speak</b>	
2.2.7	<b>Further Questions from Council</b>	
2.3	<b>C2-25 - Israel Martin, Con 4 SWTSR Lot 239 to 240, Geographic Township of Proton, Township of Southgate</b>	



### 2.3.1 Background

**The Purpose** of the application is to change the requirements of the Agriculture 1 Exception 408 (A1-408) on the subject lands permitting an On Farm Diversified Use as follows:

- Change the use of the existing shop from metal works, welding, small equipment and parts manufacture and repair to woodworking.
- Increase the floor area of the proposed shop to +-717.75 square metres including lumber drying kilns, power room and shop.
- Remove the limit of a maximum 5 employees plus owner, and
- Increase outdoor storage from 395 square metres to +-563.5 square metres.

**The Effect** is to allow a +-717.75 square metres woodworking shop as an On Farm Diversified Use with +-563.5 square metres maximum outdoor storage accessory to the existing agricultural use which includes a farm house, barn, shed and skid steer room. The number of employees in the On Farm Diversified Use would not be limited in the zoning by-law.

### 2.3.2 Application and Notice of Public Meeting 138 - 153

Click [here](#) for the link to the application documents on the Township website.

### 2.3.3 Comments Received from Agencies and the Public 154 - 171

### 2.3.4 Questions from Council

### 2.3.5 Applicant or Agent

### 2.3.6 Members of the Public to Speak

### 2.3.7 Further Questions from Council

## 2.4 C5-25 - Ian S Martin, Con 4 SWTSR Lot 217 Pt Lot 216 RP 16R11841 Part 1, Geographic Township of Proton, Township of Southgate

### **2.4.1 Background**

**The Purpose** of the proposed rezoning is to permit an on farm diversified use (dry manufacturing – woodworking) on the subject lands within a proposed +-4252 square metre zoned area. The proposed workshop and skid steer power room would have a maximum combined area of +-625 square meters with +-300 square meters of outdoor storage. The on farm diversified use would be operated secondary to proposed farmhouse, shed and barn.

**The Effect** of proposed rezoning would be to permit an on farm diversified use (dry manufacturing – woodworking) shop and skid steer and outdoor storage associated with a proposed farm house, shed and barn.

### **2.4.2 Application and Notice of Public Meeting** 172 - 194

Click [here](#) for the link to the application documents on the Township website.

### **2.4.3 Comments Received from Agencies and the Public** 195 - 210

### **2.4.4 Questions from Council**

### **2.4.5 Applicant or Agent**

### **2.4.6 Members or the Public to Speak**

### **2.4.7 Further Questions from Council**

## **3. Adjournment**

The meeting adjourned at [TIME].



The corporation of  
The Township of Southgate

Application for Planning Amendment  
Official Plan and Zoning By-law

**\*\* Pre-consultation is required with the Township before any zoning or official plan amendment applications will be accepted (By-law 66-2012)\*\***

**Instructions:**

- Please check all applicable boxes and answer all applicable questions.
- All measurements MUST be in metric units. (Imperial Units will not be accepted)
- Additional information may be attached if necessary.
- Incomplete applications will be returned.
- The Township reserves the right to ask for more information or clarification pertaining to this application at a later time.
- Further information is on the last two pages for your reference.
- Applications are not accepted without the required fees

**For office use only**

File no: C6-25 and OPA2-25  
 Pre-Consult Date: \_\_\_\_\_  
 Date received: \_\_\_\_\_  
 Date accepted: \_\_\_\_\_  
 Accepted by: \_\_\_\_\_  
 Roll # 42 07 \_\_\_\_\_  
 Conservation authority fee required: \_\_\_\_\_  
 Other information: \_\_\_\_\_

Pursuant to one or more of the following Sections 22, 34, 36, and/or 39 of the *Planning Act*, as amended, I/we apply for: (check appropriate box)

<b>Pre- Consultation Fee</b>	\$500.00
<b>Amendment to the Official Plan</b>	Minor \$4,000.00 application fee <i>plus</i> \$4,000.00 contingency fee
	Major \$6,500.00 application fee <i>plus</i> \$6,000.00 contingency fee
<b>Amendment to the Zoning By-law</b>	\$2,900.00 application fee
	Major \$4,000.00 application fee <i>plus</i> \$5,000.00 contingency fee
<b>Removal of Holding Provision</b>	\$1,000.00 application fee or \$600.00 application fee (with related Site Plan Agreement)
<b>Temporary Use By-Law Amendment</b>	\$1,674.00 application fee <i>plus</i> \$400.00 agreement fee <i>plus</i> \$2,500.00 contingency fee
<b>Other Required Fees:</b>	
<b>Public Notice Sign Fee</b>	\$145.00
<b>Conservation Authority Fee</b>	\$260.00 Saugeen Valley Conservation  Grand River Conservation – Call directly for details
<b>County of Grey Municipal Review Fee</b>	\$400.00

\*Contingency fee required for all Official Plan Amendment applications

\*Contingency fee required only for Major Zoning By-law Amendment applications

**Note on fees:**

It is a requirement that any potential applicant pre-consult with the Planning Department prior to submitting any planning application. For the pre consultation meeting, please provide a drawing or a sketch of your proposal, accompanied by a written description.

The application fees were adopted and approved under the Township of Southgate's fees and charges By-law and will only be accepted once the application is deemed complete by the Township of Southgate Planning Department.

All required application fees shall be paid in cash or by cheque made payable to the Township of Southgate.

Contingency fees will be utilized to cover costs associated with this application when deemed necessary by the Township of Southgate, i.e. professional consultants and legal advice. Any portion of the contingency fee not used in connection with the review and completion of an application will be returned. The applicant further agrees to pay any additional costs and expenses beyond the initial contingency fee which shall be determined by staff of the Corporation of the Township of Southgate in the event that the amount of the initial contingency fee taken is insufficient.

Be advised that the applicant or a representative is expected to appear at any meetings (including the public meeting) to explain the proposal and answer any questions that may arise. Failure to do so may result in deferral of the application and increased costs.

**Part A**

**Owner/Agent/Application information**

\*To be completed by the applicant

1. Name of registered owner: Ridgeview Lumber Inc. (Jesse & Salinda Martin)

Mailing address: 185673 Grey Road 9 Dundalk Ont. N0C 1B0

Phone# : (H) [redacted] (B) \_\_\_\_\_

Email Address: [redacted]

2. Name of applicant: MHBC Planning Ltd

Mailing address: 540 Bingemans Centre Drive, Kitchener

Phone#: 519-575-3650 Email: gsmith@mhbcp planning.com

Applicant's Relationship to Subject Lands:

- Registered Property Owner
- Holder of Option to Purchase Subject Lands
- Signing Officer of Corporation
- Other [Specify] \_\_\_\_\_

3. Name of agent (if applicable) MHBC Planning Ltd

Mailing address: 540 Bingemans Centre Drive, Kitchener

Phone#: 519-576-3650 Email: gsmith@mhbcp plan.com/pchauvin@mhbcp plan.com

4. Send all correspondence to (choose only one):  Applicant  Agent

5. Preferred Method of communication:  Phone  email  Postal Mail

6. Name any mortgages, charges or encumbrances, in respect to the subject lands:

\_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone#: \_\_\_\_\_

**Part B**

**The subject lands**

7. Location of subject property (former municipality):

Township of Egremont  Township of Proton  Village of Dundalk

Road/street and number: 185673 Grey Road 9

Tax Roll#: 420709000215100

Lot 18 Concession 13

Lot \_\_\_\_\_ of \_\_\_\_\_ Plan \_\_\_\_\_

8. The date the subject land was acquired by the current owner: \_\_\_\_\_

9. Dimensions of subject property:

frontage 420 m depth 1,000 m area 41.8 ha sq m/ha

10. Description of the area affected by this application if only a portion of the entire property 9,300sqm

11. Abutting and nearby lands uses

(a) Interest in abutting lands - does the owner or applicant of the subject lands own or have a legal interest in any lands abutting the subject lands? Yes  No

If yes, describe to what extent \_\_\_\_\_

(b) Use of abutting and nearby lands - describe the present use on all properties abutting and opposite the subject lands.

North \_\_\_\_\_ East \_\_\_\_\_  
South \_\_\_\_\_ West \_\_\_\_\_

(c) Agricultural livestock operations

if an existing livestock operation is located within 450 metres of the subject lands, prepare a sketch showing locations and approximate size of livestock barns (as per Additional Requirements 20. (b) request) and you must fill out Schedule "A".

12. Environmental Constraints

Indicate whether any of the following environmental constraints apply to the subject lands:

- |                                   |                          |  |                          |
|-----------------------------------|--------------------------|--|--------------------------|
| Wetlands                          | <input type="checkbox"/> | Specialty Crop Lands                             | <input type="checkbox"/> |
| Floodplains                       | <input type="checkbox"/> | ANSI's (areas of natural or scientific interest) | <input type="checkbox"/> |
| Streams, Ravines and Lakes        | <input type="checkbox"/> | Aggregate Resources                              | <input type="checkbox"/> |
| Water Resources                   | <input type="checkbox"/> | Thin Overburden                                  | <input type="checkbox"/> |
| Wooded Areas & Forest Management  | <input type="checkbox"/> | Solid Waste Management                           | <input type="checkbox"/> |
| Fisheries, Wildlife & Environment | <input type="checkbox"/> | Sewage Treatment Plant                           | <input type="checkbox"/> |
| Heritage Resources                | <input type="checkbox"/> |  |                          |

13. Official Plan

Indicate the current Official Plan Designation:

- |                     |                          |                                       |                                     |
|---------------------|--------------------------|---------------------------------------|-------------------------------------|
| Neighbourhood Area  | <input type="checkbox"/> | Agriculture                           | <input type="checkbox"/>            |
| Downtown Commercial | <input type="checkbox"/> | Rural                                 | <input checked="" type="checkbox"/> |
| Arterial Commercial | <input type="checkbox"/> | Inland Lakes                          | <input type="checkbox"/>            |
| Industrial          | <input type="checkbox"/> | Space Extensive Industrial/Commercial | <input type="checkbox"/>            |
| Public Space        | <input type="checkbox"/> | Hazard Lands                          | <input checked="" type="checkbox"/> |
| Special Policy Area | <input type="checkbox"/> | Wetlands                              | <input type="checkbox"/>            |
| Major Open Space    | <input type="checkbox"/> | Mineral Aggregate Extraction          | <input type="checkbox"/>            |
| Village Community   | <input type="checkbox"/> |                                       |                                     |

14. Zoning By-law

Present zoning A1 and A1-530

Requested zoning A1 and A1-530

15. Specific proposed use(s) of subject property that this amendment would authorize: (provide a sketch showing locations and approximate size for each building or structure)

There is no change to the use of the lands. The amendment will increase the size of the existing lumber yard specifically increasing the outdoor storage area, the building footprint, and the area of the use.

**For Official Plan Amendment Applications Only:**

14.

16. Please answer the following about this proposed Official Plan Amendment:

Does this application change or replace a designation in the Official Plan?

Changes  Replaces

17. Is this application to implement an alteration to the boundary of an area of settlement or to implement a new area of settlement?

Yes  No

If yes, please provide the details of the official plan or the official plan amendment that deals with this matter.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

18. Does this application propose to remove land from an area of employment?

Yes  No

If yes, please provide the details of the official plan or official plan amendment that deals with this matter.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

19. Is the application being submitted in conjunction with a proposed County Official Plan Amendment? Yes  No

If yes, please provide the details of the official plan or official plan amendment that deals with this matter.

The proposal is increasing the size of an on-farm diversified use. A County OPA is required to increase the maximum size permitted for an OFDU from 2% of the property area to 2.25%.  
A local OPA is required to also increase the size of the OFDU to 2.25% of the property area, as well as increase the size of the building footprint of the OFDU.

Type of building/structure open air structure

Setbacks:  
front lot line 125m

rear lot line 913m

side lot line 131m

Building/structure:

height 1 storey dimensions / floor area 373sqm

20. The date the existing building(s) or structure(s) on the subject land were constructed: \_\_\_\_\_

21. The length of time that the existing uses of the subject land have continued: \_\_\_\_\_

22. If proposed use is residential, indicate proximity of subject lands to community facilities (parks, schools, etc.): \_\_\_\_\_

23. Specific reason(s) for requesting amendment(s), if not sufficient space, a cover letter should be attached:  
The land owner has identified a need for additional storage to continue the successful operation of the on-farm diversified use. Refer to Planning Report for additional reasoning.

24. Has the subject land ever been the subject of a Zoning By-law Amendment?  
Yes  No  Unknown

If yes, and if known, specify the file number and status of the application:

Approved. Bylaw 2022-131

**Servicing for subject land**

25. Facilities existing or proposed for subject lands:

<b>type of access</b>	<b>existing</b>	<b>proposed</b>
_____ provincial highway	_____	_____
_____ municipal road, maintained year round	<u>✓</u>	_____
_____ municipal road, seasonally maintained	_____	_____
_____ other public road	_____	_____

please specify \_\_\_\_\_  
\_\_\_\_\_ right of way available \_\_\_\_\_

please specify \_\_\_\_\_  
\_\_\_\_\_ water access available \_\_\_\_\_

Describe the parking and docking facilities and the approximate distance of these facilities \_\_\_\_\_

<b>type of water supply</b>	<b>existing</b>	<b>proposed</b>
_____ municipally operated piped water system	_____	_____
_____ privately owned/operated individual well	<u>✓</u>	_____
_____ privately owned/operated communal well	_____	_____
_____ lake or other water body	_____	_____

please specify \_\_\_\_\_  
\_\_\_\_\_ other means \_\_\_\_\_

please specify \_\_\_\_\_

<b>type of storm water management</b>	<b>existing</b>	<b>proposed</b>
_____ storm drainage sewer pipe	_____	_____
_____ ditch	<u>✓</u>	_____
_____ swale	_____	_____
_____ other means	_____	_____



please specify \_\_\_\_\_

<b>type of sewage disposal</b>	<b>existing</b>	<b>proposed</b>
_____ municipally operated sanitary sewers	_____	_____
_____ privately owned/operated individual septic	_____ ✓ _____	_____
_____ privately owned/operated communal septic	_____	_____
_____ privy	_____	_____
_____ other means	_____	_____

please specify \_\_\_\_\_

26. Is there an approved Site Plan and/or a Site Plan Control Agreement in effect on any portion of the subject lands?

Yes  No

If yes, has an amendment to the Site Plan and/or Agreement been applied for?

Yes  No

27. Are there any easements, rights-of-way, restrictions, covenants, or other agreements applicable to the subject lands? (if yes, describe what they are and include applicable Site Plan if applicable.)

Yes  No

**Part C**  
**The proposal**

28. Describe the **nature** and extent of the relief applied for and the proposed use of the subject lands.

The purpose of the proposal is to increase the amount of storage space for the existing OFDU. This requires amending the Official Plans to establish site specific policies on a portion of the lands, and amending the A1-530 zoning regulations. There is no change to the use of the lands.

29. Describe the reasons for the proposed amendment(s).

To increase the storage area for the existing OFDU. The land owner has identified a need for additional storage to continue the successful operation of the on-farm diversified use.

30. Describe the timing of the proposed development, including phasing.

NA

31. Additional Supporting Documents

List any supporting documents: (e.g. Environmental Impact Study, Hydrologic Report, Traffic Study, Market Area Study, Aggregate License Report, Storm Water Management Report)

NA

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**Part D**  
**Statement of compliance**

32. Is this application consistent with the policy statements issued under subsection 3(1) of the Planning Act?  
Yes  No
33. Is the subject land within an area of land designated under any provincial plan or plans?  
Yes  No

If yes, explain how the application conforms with or does not conflict with the applicable provincial plan or plans.

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**Additional requirements**

34. Supplementary and support material to accompany application, where applicable
- a) a survey of the property prepared by an Ontario Land Surveyor indicating topographical contours and other natural and artificial features such as existing buildings and their uses, railways, highways, pipelines, ditches, swamps, watercourses, drainage, and wooded areas within or adjacent to the subject land. This survey should clearly indicate the land which is the subject of the amendment.
- OR
- b) a sketch *drawn to scale* showing the following:
    - 1) Boundaries and dimensions of the subject land.
    - 2) Location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
    - 3) Approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditch, river or stream banks, wetlands, wooded areas, wells and septic tanks.
    - 4) Current use(s) on land that is adjacent to the subject land.
    - 5) Location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right of way.
    - 6) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
    - 7) Location and nature of any easement affecting the subject land.
    - 8) North Arrow

**Other information**

35. Is there any other information that you think may be useful to the municipality or other agencies in reviewing the application? If so, explain below or attach on a separate page:

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**Part E**  
**Authorization and affidavit**

36. Owner's Consent (Freedom of Information):

In accordance with the provision of the Planning Act, it is the policy of the Municipality to provide public access to all development applications and supporting documentation.

In submitting this development application and supporting documents I (we),

Jesse Martin and Salinda Martin  
Name of Owner(s)

hereby acknowledge the above-noted and provide my (our) consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, as well as commenting letters of reports issued by the municipality and other review agencies will be part of the public record and will also be available to the general public.

	<u>Jan.14 2025</u>
Signature of Owner	date
	<u>Jan.14 2025</u>
Signature of Owner	date

37. Owner's Authorization for Agent

I(we), Jesse Martin and Salinda Martin  
Name of Owner(s)



hereby authorize MHBC Planning Ltd to act as our agent(s) for the purpose of this application.

	<u>Jan.14 2025</u>
Signature of Owner	date
	<u>Jan.14 2025</u>
Signature of Owner	date

38. Owner's Authorization for Access

I/we, Jesse Martin, and Salinda Martin  
Name of Owner(s)

hereby permit Township staff and its representatives to enter upon the premises during regular business hours for the purpose of performing inspections of the subject property.

	<u>Jan.14 2025</u>
Signature of Owner	date
	<u>Jan.14 2025</u>
Signature of Owner	date
_____ Signature of Witness	date

**Solemn declaration**

39. Affidavit

To be completed by owner(s), agent(s), or applicant(s) having completed the application form

**Note: This Affidavit must be signed in the presence of a Commissioner for Taking Oaths.**

I/ (We) Gillian Smith  
Name(s)

of the City of Hamilton in the \_\_\_\_\_ of \_\_\_\_\_  
city/town/municipality county/region

Solemnly declare that all statements contained in this application and all the information provided is true, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the:

City of Kitchener in Region of Waterloo  
city/town/municipality county/region

This 20 day of January, 2025



Signature of Commissioner



Signature of Applicant

Gillian Smith

print name

Pierre Jacques Chauvin, a Commissioner, etc.,  
Province of Ontario, for MHBC Planning Ltd.  
Expires November 15, 2026.

Signature of Applicant

print name

Schedule "A"

Supplementary Information – Agricultural Lands

Agricultural Property History on the subject parcel

(i) What type of farming has been or is currently being conducted?

- Beef
- Dairy
- Swine
- Poultry
- Sheep
- Cash Crop
- Other (describe) \_\_\_\_\_

Describe in detail the size, age and feed type used for the type of farming conducted: \_\_\_\_\_

(i) How long have you owned the farm? 3 years

(ii) Are you actively farming the land (or – do you have the land farmed under your supervision)?

Yes – For how long? 3 years

No – When did you stop farming? \_\_\_\_\_

For what reason did you stop farming? \_\_\_\_\_

(iii) Area of total farm holding: 41.9 hectares

(iv) Number of tillable hectares: 26 hectares

(v) Do you own any other farm properties?  Yes  No

If yes, indicate locations: Lot: \_\_\_\_\_ Concession: \_\_\_\_\_

Former Township: \_\_\_\_\_

Total Hectares: \_\_\_\_\_

(vi) Do you rent any other land for farming purposes?  Yes  No

If yes, indicate locations: Lot: \_\_\_\_\_ Concession: \_\_\_\_\_

Former Township: \_\_\_\_\_

Total Hectares: \_\_\_\_\_

(vii) Is there a barn on the subject property?  Yes  No

Please indicate the condition of the barn: Built in 2022

How big is the barn? 300m<sup>2</sup>

What is the present use of the barn? Horses and sheep

What is the capacity of the barn, in terms of livestock? \_\_\_\_\_

11 horses 40 ewes with offspring

(viii) Indicate the manure storage facilities on the subject lands

- Storage already exists
- No storage required (manure/material is stored for less than 14 days)
- Liquid
  - inside, underneath slatted floor
  - outside, with permanent, tight fitting cover
  - (treated manure/material) outside, no cover
  - outside, with a permanent floating cover
  - outside, no cover, straight-walled storage
  - outside, roof but with open sides
  - outside, no cover, sloped-sided storage
- Solid
  - inside, bedded pack
  - outside, covered
  - outside, no cover,  $\geq 30\%$  DM
  - outside, no cover, 18-30% DM, with covered liquid runoff storage
  - outside, no cover, 18-30% DM, with uncovered liquid runoff storage

(ix) Are there any barns on other properties within 450 meters (1,476.38 ft) of the subject lands?  Yes  No

If yes, these barns and distances to the subject property must be shown on the sketch. The following questions must be answered for each property containing a barn regardless of current use.

(x) What type of farming has been conducted on this other property?

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(xi) Indicate the number of tillable hectares on other property: \_\_\_\_\_

(xii) Indicate the size of the barn(s): \_\_\_\_\_

(xiii) Capacity of barn in terms of livestock: \_\_\_\_\_

(xiv) Manure Storage facilities on other property (see storage types listed in question above)

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Additional information will be required for Minimum Distance Separation (MDS) calculations – please discuss this with Planning Staff prior to submitting your application

## Zoning amendment process

**Purpose:** a zoning by-law amendment is required to change a zone symbol on a property to permit expanded or different land uses on a specific property. A zoning by-law amendment may also be requested to change a zone provision (setback or similar regulation) or general provision.

**Process:** Discuss your proposal with the municipal planning department prior to submitting your application. Make your application to the planning department along with the required fee. A planning staff report will be prepared and a public meeting will be set. The applicant will be advised of the time and date of this meeting and invited to make representation at this time in order to explain why the zoning amendment request is being made.

You can expect a decision on your application within 150 days. This time is used to review the application, set up a public meeting, post the required public notice, draft a zoning by-law amendment and ensure that all other required documentation is in order.

At least 20 days prior to the public meeting, notice of the public meeting is either sent to every assessed property within 120 metres (400 feet) of the subject property or a notice is placed in the appropriate local newspaper. The applicant or a representative must attend the public meeting to explain why the zoning amendment is required to members of the Council and the public, as well as answer any questions that may arise.

A site plan and agreement may be required to be negotiated prior to any further proceedings of the rezoning process. Following the public meeting and if Council is satisfied with the application, an amending by-law will be considered by Council. Should the by-law be passed, a notice of passing is prepared and sent to everyone on the first mailing list or published in the newspaper. A 20 day appeal period is required to be included in this notice to allow anyone to appeal the by-law to the Ontario Municipal Board.

Should your application not be approved by Council, you also have the right to appeal to the Local Planning Appeals Tribunal within the same 20 day appeal period. More information is available by contacting the municipal planning department or on the Web at: <http://elto.gov.on.ca/news/local-planning-appeal-tribunal/>

If the application is approved and no appeal is filed, a notice of no appeal is prepared and sent to the applicant at which time the process is now completed. A building permit would not be available for any works associated with the by-law until the appeal period has passed and if no appeals were filed.

### Zoning by-law amendment process summary

1. Pre-consultation (required by By-law 66-2012)
2. Submit application
3. Clerk sets a public meeting  
Notice sent to neighbours within 120 metres (400 feet) and various agencies, 20 days prior to public meeting.
4. Public meeting  
Applicant and/or agent should attend to resolve any potential concerns.  
Council will consider the proposal and may pass a by-law that meeting.
5. Appeal period  
After a Notice of Passing for the by-law amendment is sent to neighbours within 120 metres (400 feet) and agencies, 20 day appeal period begins.
6. Decision final  
If not appeal is filed with the Township within the appeal period, the process is complete and the zoning by-law amendment is in full force and effect.

\*\*\*please do not return this page\*\*\*



**County Official Plan Amendment Application Form**

 For applying for approval under Section 17 or 21 of the *Planning Act*
**Application is hereby made to:**

 The Corporation of the County of Grey  
 Planning & Development Department  
 595 9th Avenue East  
 Owen Sound, ON N4K 3E3

Phone: 548-877-0855

 Email: [planning@grey.ca](mailto:planning@grey.ca)
**FOR OFFICE USE ONLY**

Date Accepted: \_\_\_\_\_

Accepted by: \_\_\_\_\_

Roll Number (s): \_\_\_\_\_

Fee: \_\_\_\_\_ Paid [ ]

Other Information: \_\_\_\_\_

**NOTE: PRE-SUBMISSION CONSULTATION (INCLUDING MANDATORY \$500.00 FEE) IS REQUIRED FOR ALL COUNTY OFFICIAL PLAN AMENDMENT APPLICATIONS**

**Type of Application:**

In accordance with the County of Grey By-law No. 5090-20, the following fees are set for the processing of County Official Plan Amendments:

<input checked="" type="checkbox"/>	County Official Plan Amendment	Application Fee	Peer Review Fee
<input checked="" type="checkbox"/>	Minor – Site Specific*	\$2,775.00	\$2,000.00
<input type="checkbox"/>	Major *	\$5,050.00	\$5,000.00

**Payment Options:**

- Visa or Mastercard by calling our Administrative Assistant (call: 548-877-0855)
- Cheques payable to County of Grey

\*\$500 is non-refundable if the request does not proceed to Public Meeting. Legislative Authority – Section 69 of the *Planning Act*, R.S.O. 1990, as amended.

Minor includes applications with **2 or less** technical studies such as, but not limited to a/an planning justification report, stormwater management report, traffic review, servicing review, environmental impact study, noise and vibration study, and /or an archaeological assessment.

Please note that the information to accompany an amendment as prescribed by regulation (O. Reg. 543/06) to the *Planning Act* must be included in this form or in the material submitted to the County with the application.

Where a Municipality is applying for a County Official Plan Amendment, they are exempt from payment of the above-noted fees.

**Requirements for Submission:**

In addition to the application fee and pre-submission consultation the following is required to be considered a complete application:

<input checked="" type="checkbox"/>	Required:
<input checked="" type="checkbox"/>	Electronic copies of all reports, drawings, applications and any other required information in original digital format and in PDF format. <b>We do not require paper copies</b> but may request at a later date if needed
<input checked="" type="checkbox"/>	This application form (original certified copy)
<input checked="" type="checkbox"/>	Any required report (outlined through pre-submission consultation)

**Applicant Information:**

1. Complete the information below and indicate one contact as the primary contact. All communications will be directed to the primary contact.

Registered Owner(s): Ridgeview Lumber Inc. ( Jesse Martin, Salinda Martin)  
 Address: 185673 Grey Road 9 Dundalk Ont. N0C 1B0  
 Email Address: [REDACTED]  
 Telephone Number: [REDACTED]

Applicant(s): MHBC Planning Ltd  
 Address: 540 Bingemans Centre Drive, Kitchener  
 Email Address: gsmith@mhbcplan.com  
 Telephone Number: 519-576-3650

Agent: MHBC Planning Ltd  
 Address: 540 Bingemans Centre Drive, Kitchener  
 Email Address: gsmith@mhbcplan.com/pchauvin@mhbcplan.com  
 Telephone Number: 519-576-3650

Please indicate the primary contact:  Owner  Applicant  Agent

**Property Information:**

2. Provide a description of the subject property.  
 Amalgamated Township: Southgate  
 Municipal Address: 185673 Grey Road 9  
 Lot & Concession: Lot 18 Con 13  
 Geographic Township: Proton  
 Registered Plan: \_\_\_\_\_  
 Part(s) of Lot(s): \_\_\_\_\_

3. What is the total area of the subject lands (in hectares)? 41.8

What is the total area of the lands to be re-designated? 9,300sqm

4. What is the current designation of the subject land in the County official plan?  
Rural and Hazard Lands

---

5. What are the land uses that are authorized under the current County designation?  
agricultural, aggregate extraction, recreation, institutional, yards associated with  
trades

---

6. What is the current designation of the subject land in the Municipal official plan?  
Rural and Hazard Lands

---

7. What are the land uses that are authorized under the current Municipal designation?  
agricultural, aggregate extraction, recreation and forestry, contractors yards

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8. What is the current zoning of the subject land in the Municipal zoning by-law?  
A1 and A1-530

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9. What are the land uses that are authorized under the current Municipal zoning?

Agricultural

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10. What is the current and previous known use(s) of the subject land?

Current use(s):

Agricultural and home industry

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Previous known use(s):

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11. Is the subject land in the requested amendment covered by a provincial plan(s) such as the Niagara Escarpment Plan?

Yes  No

If yes, identify which provincial plan(s) and explain the current designation(s) of the subject land(s). Attach a separate page, if necessary.

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If yes, does the requested amendment conform/not conflict with the policies contained in the applicable provincial plan?

Yes  No

If yes, please explain. Attach a separate page, if necessary. Submit a planning report, if applicable.

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12. Is the subject land the subject of a proposed amendment to a provincial plan?

Yes  No

If yes, what is the applicable provincial plan? Specify the file number and status of the application.

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13. Have you consulted with Aboriginal Peoples on the request for a Plan Amendment?

Yes  No

If yes, provide any information you have on the consultation process and the outcome of the consultation. Please explain (and attach) on a separate page.

Previous Applications:

14. Has the subject lands or lands within 120 metres ever been subject of an application for approval for any of the following:

A **plan of subdivision** under Section 51 of the *Planning Act*.  Yes  No

If yes, please provide the file number and the status of the application:

File Number: \_\_\_\_\_ Status: \_\_\_\_\_

A **consent** under Section 53 of the *Planning Act*  Yes  No

If yes, please provide the file number and the status of the application:

File Number: \_\_\_\_\_ Status: \_\_\_\_\_

A **minor variance**  Yes  No

If yes, please provide the file number and the status of the application:

File Number: \_\_\_\_\_ Status: \_\_\_\_\_

Approval of a **site plan**  Yes  No

If yes, please provide the file number and the status of the application:

File Number: SP12-22 Status: approved

An **official plan amendment**  Yes  No

If yes, please provide the file number and the status of the application:

File Number: \_\_\_\_\_ Status: \_\_\_\_\_

A **zoning by-law amendment**  Yes  No

If yes, please provide the file number and the status of the application:

File Number: Bylaw 2022-131 Status: approved

A **Minister's zoning order**  Yes  No

If yes, please provide the file number and the status of the application:

File Number: \_\_\_\_\_ Status: \_\_\_\_\_

**Proposal:**

15. What is the purpose of the application? What is the effect of the proposed official plan amendment?

To increase the size of an existing on-farm diversified use to have more storage space.

A site specific policy is requested to increase the use to have a coverage of 2.25%.

16. Does the planning document only clarify wording or correct mistakes?

Clarify wording  Correct mistakes

If yes, specify the policy to be clarified or corrected (give the text of the policy, page and paragraph number in the current OP).

17. Does the planning document propose to change, replace or delete a policy in the official plan?

Change  Replace  Delete

If yes, specify the policy to be changed, replaced, or deleted (give the text of the policy, page and paragraph number in the current OP).

18. Does the planning document propose to add a policy in the official plan?

Yes  No

If yes, specify the policy to be clarified or corrected (give the text of the policy, page and paragraph number in the current OP).

19. Does the requested amendment propose to change or replace a designation in the official plan?

Change  Replace

If the requested amendment proposes to change or replace a designation in the official plan, specify the designation to be changed or replaced. What is the proposed new designation?

Table 8: On-farm Diversified Use Size Criteria - Rural Lands. Proposed amendment is to increase the maximum size of the OFDU to 9,300sqm (2.25%) on the subject lands

20. What are the land uses that would be authorized in the new designation of the requested official plan amendment?

There is no change to the permitted land uses. This is a site specific policy to increase the size of an existing use (OFDU)

21. Does the requested amendment propose to change or replace a schedule in the official plan?

Change  Replace

If yes, provide/attach the new schedule and the text that accompanies it, if applicable.

22. Does the requested amendment propose to alter all or any part of the boundary of an area of settlement in a municipality?

Yes  No

If yes, specify the current official plan policies, if any, dealing with the alteration of an area of settlement.



23. Does the requested amendment propose to establish a new settlement area in a municipality?

Yes  No

If yes, specify the current official plan policies, if any, dealing with the establishment of an area of settlement.

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24. Does the requested amendment propose to remove the subject land from an area of employment in a municipality?

Yes  No

If yes, specify the current official plan policies, if any, dealing with the removal of land from an area of employment.

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25. Is this a site-specific re-designation of a parcel of land in the official plan?

Yes  No

26. Indicate the proposed water supply & sewage disposal on the subject property:

	Municipal Water	Communal Water	Private Well	Municipal Sewers	Communal Sewers	Private Septic
Existing	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

If the proposed amendment would permit development on a privately owned and operated individual or communal septic system and more than 4500 litres of effluent would be produced per day as a result of the development being completed, please include a **servicing options report** and a **hydrogeological report**.

27. Are stormwater sewers present?

Yes  No

28. Indicate the name of the road providing access to the subject property.

Grey Road 9

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29. Provide the following details for all buildings: (use separate page if necessary)

Details	Existing	Proposed
Type of building(s)		
Main Building Height	(m)	(m)
% Lot Coverage		
Number of Parking Spaces	<b>Refer to Concept Plan</b>	
Number of Loading Spaces		
Number of Floors		
Total Floor Area	(m <sup>2</sup> )	(m <sup>2</sup> )
Ground Floor Area (excluding basement)	(m <sup>2</sup> )	(m <sup>2</sup> )

30. Is the requested amendment consistent with the Provincial Policy Statement (PPS)?

Yes  No

Explain how the requested amendment is consistent with the PPS in a planning report, by a qualified individual.

OFDU are a permitted use in prime agricultural areas.

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Refer to the planning justification report for comprehensive analysis.

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In addition to this, Appendix 1 is a checklist (not a substitute for the PPS) identifying areas of provincial interest that may apply to the requested amendment.

Please check the appropriate boxes in **Appendix 1**, beginning on page 18

**Authorization:**

31. Owner's Authorization (if the owner is not the applicant):

If an agent is employed, the registered owner(s) must complete the following:

PLEASE PRINT

I (we)	Ridgeview Lumber Inc.
	(name(s) of owner, individuals or company)
	Jesse Martin
	(name(s) of owner, individuals or company)
	Salinda Martin
	(name(s) of owner, individuals or company)

Being the registered owner(s) of the subject lands, hereby authorize  
MHBC Planning Ltd

\_\_\_\_\_  
(Name of Agent)

To prepare and submit an official plan amendment for approval.

[Redacted Signature]	Jan.14 2025
(signature of owner)	(date)
[Redacted Signature]	Jan.14 2025
(signature of owner)	(date)
[Redacted Signature]	[Redacted Date]
(signature of owner)	(date)
[Redacted Signature]	[Redacted Date]
(signature of owner)	(date)

NOTE: If the owner is an incorporated company, the company seal shall be applied (if there is one). By signing the above,

**Declaration:**

32. Declaration (this must be signed in the presence of a Commissioner):

I (we) Gillian Smith  
\_\_\_\_\_ (name(s) of applicant)

of the City of Hamilton in the County/Region/District of  
\_\_\_\_\_ (name of City/Town/Township)

Solemnly declare that all of the statement contained in this application and all of the supporting documents are true and complete, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath, and by virtue of the "Canada Evidence Act".

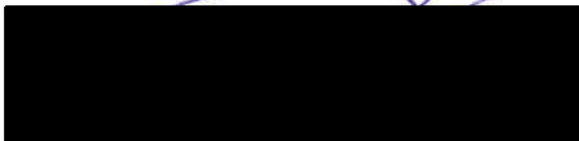
Declared before me at: City of Kitchener

in the County/Region/District of Region of Waterloo

this 20 day of January, 2025.

\_\_\_\_\_  
(Signature of applicant)

Commissioner of Oaths:



Pierre Jacques Chauvin, a Commissioner, etc.,  
Province of Ontario, for MHBC Planning Ltd.  
Expires November 15, 2026.

**Applicant's Consent**

33. Applicant's consent:

In accordance with the provisions of the Planning Act, it is the policy of the County of Grey to provide public access to all development applications and supporting documentation.

In submitting this development application and supporting documentation, I,  
Gillian Smith

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(applicant)

hereby acknowledge the above noted and provide my consent in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

I further acknowledge that in my capacity as Applicant, I give consent to County, Municipal, and/or Conservation Authority staff to conduct one or more site visits to the subject property for the purposes of acquiring additional information to assist with any required review of the proposed development.



01/20/25

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(signature)

(date)

## Reimbursement Agreement

### 34. Peer Review Reimbursement Agreement

THIS AGREEMENT made in duplicate this \_\_\_\_ day of \_\_\_\_\_, 20

BETWEEN:

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Hereinafter called the 'APPLICANT'  
OF THE FIRST PART

AND

**THE CORPORATION OF THE COUNTY OF GREY**  
Hereinafter called the 'CORPORATION'  
OF THE SECOND PART

WHEREAS the Applicant has submitted development applications(s) (i.e. plan of subdivision/condominium, County Official Plan Amendment) and supporting studies to the Corporation for approval, and;

WHEREAS the Corporation by virtue thereof will require the assistance of peer review consultants, solicitor and other professional advisors to provide input and advice to the Corporation with respect to the development proposal and related studies;

NOW THEREFORE BE IT RESOLVED that in consideration of mutual covenants hereinafter set out, the parties hereto agree as follows:

- i. The Applicant represents and warrants that they are requesting development approvals on the lands hereinafter described on Schedule 'A' attached hereto. The Applicant represents and warrants that it is intended that the proposal shall closely approximate the application as attached in Schedule 'B' attached hereto.
- ii. The parties hereto acknowledge that the proposal indicated on Schedule 'B' hereto may not be the final version herein and amendments or modifications may be required thereto as the process proceeds.
- iii. The Applicant covenants and agrees to pay the Corporation all related costs for professional help incurred by the Corporation. Without limited in the generality of the foregoing, the Applicant covenants and agrees to an immediate security deposit of Five Thousand Dollars (\$5,000.00) against the anticipated costs (hereinafter referred to as the 'Deposit'). At any time that the balance of the Deposit falls below \$500.00, and upon request of the Treasurer, sufficient funds to increase the balance of the Corporation shall produce to the Applicant invoices that have been paid with respect that the amount of these invoices be matched by the Applicant forthwith. Should the deposit at any time fall below \$0.00, the file(s) shall be held in abeyance by the County and no further action will occur until sufficient

funds are deposited by the Applicant to return the deposit to the \$5,000.00 level.

**AGREEMENT BETWEEN:**

\_\_\_\_\_ AND  
(Applicant)

**THE CORPORATION OF THE COUNTY OF GREY**

- iv. The Applicant covenants and agrees to submit to the Corporation's professional advisers where applicable, all necessary plans, documents, and specifications requested by them on behalf of the Corporation for the services and requirements of the Corporation. All such submissions must meet the approval of the Corporation's professional advisers. It is understood and agreed that the design/study criteria related to services shall be as specified by the Corporation and/or their representative and to industry standards.
- v. Any monies remaining in the Deposit will be released to the Applicant after a formal decision on the application(s) have been made by the Corporation.
- vi. This Agreement and everything herein contained shall inure to the benefit of and be binding upon the Applicant and the Corporation, their heirs, executors, administrators, successors and assigns.

IN WITNESS WHEREOF the Applicant has hereunto set his hand and seal or, in the alternative, has caused it corporate seal to be affixed hereto attested by signatures of its proper signing officers in this behalf.

IN WITNESS WHEREOF on behalf of the Corporation of the County of Grey by this signature of the Clerk or Director of Planning or Senior Planner.

SIGNED, SEALED AND DELIVERED    APPLICANT  
Per:

\_\_\_\_\_

\_\_\_\_\_ I have the authority to bind the Corporation  
(where applicable)

**THE CORPORATION OF THE COUNTY OF GREY**

\_\_\_\_\_ Name

\_\_\_\_\_ Title

**PEER REVIEW REIMBURSEMENT AGREEMENT**

**SCHEDULE 'A'**

**DESCRIPTION OF THE SUBJECT PROPERTY**



**PEER REVIEW REIMBURSEMENT AGREEMENT**

**SCHEDULE 'B'**

**PLANNING ACT APPLICATION(S)  
(ATTACH COPIES)**

Appendix 1: Areas of Provincial Interest

Features of Interest to the Province or Development Circumstances	(a) If a feature, is it on site or within 500 metres		OR (b) If a development circumstance, does it apply?	If a feature/land use, specify distance from site (in metres)	Additional Information that may be required
	Yes	No			
Employment Lands	<input type="checkbox"/>	<input type="checkbox"/>			<p>If the requested amendment is proposing to remove lands from an area of employment for non-employment use, a comprehensive review should be undertaken to demonstrate:</p> <p>The land is not required for employment purposes over the long term, and that there is a need for the proposed conversion.</p>
Rural Areas located in municipalities	<input type="checkbox"/>	<input type="checkbox"/>			<p>Assess compatibility with rural landscape and whether new development could be sustained by the existing level of rural services;</p> <p>Demonstrate appropriateness of available or planned infrastructure and avoiding the need for unjustified and/or uneconomical expansion of this infrastructure; and</p> <p>Demonstrate compliance with the minimum distance separation formulae where new land uses and new or expanding livestock facilities are proposed.</p>
Class 1 Industry <sup>1</sup>	<input type="checkbox"/>	<input type="checkbox"/>			<p>If sensitive land use is proposed within 70 m from the boundary lines, a noise/odour/particulate study may be needed.</p>

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Class 2 Industry <sup>2</sup>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If sensitive land use is proposed within 300 m from the boundary lines, a noise/odour/particulate study or other studies may be needed.
Class 3 Industry <sup>3</sup>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If sensitive land use is proposed within 1000 m from the boundary lines, an assessment of the full range of impacts and mitigation measures may be needed.
Land Fill Site(s): closed/active landfill	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If sensitive land use is proposed, and if within 500 m of the perimeter of the fill area, studies including leachate and groundwater impacts, noise, methane gas control, odour, vermin and other impacts may be needed.  The proponent may also be requested to provide other information such as age and size of landfill site; type of waste disposed on site; projected life of site; size of buffer area; amount of truck traffic per day, etc.  If proposal is on a closed landfill that is 25 years old or less, approval under Section 46 of the Environmental Protection Act is required and should be obtained prior to any <i>Planning Act</i> approval.
Sewage Treatment Plant and waste stabilization pond	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	There is a need for a feasibility study if the proposal is for a sensitive land use and the property line is within:  100 m of the periphery of the noise/odour-producing source structure of a sewage treatment plan (STP) producing less than 500 cubic metres of effluent per day; or  150 m of the periphery of the noise/odour producing greater than 25,000 cubic metres of effluent per day; or  400 m from the boundary line of a waste stabilization pond.

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<p>Provincial Highways</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Consult with the Ministry of Transportation to assess whether direct access to the provincial highway will be permitted. If so, permits will be required for all proposed buildings/land use and entrances within the permit control area in accordance with the Public transportation and Highway Improvement Act.</p> <p>If the proposed development is located in proximity to a provincial highway, a traffic impact study and stormwater management report will be required by the Ministry of Transportation (MTO)</p>
<p>Airports where Noise Exposure Forecast (NEF) or Noise Exposure Projection (NEP) is greater than 30</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>If the proposal is to redevelop existing residential uses and other sensitive land uses, or infill of residential and other sensitive land uses in areas above 30 NEF/NEP, assess feasibility of proposal by demonstrating no negative impacts on the long-term function of the airport.</p>
<p>Active railway line and major highways</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>A noise feasibility study may be needed to determine possible noise impacts and appropriate mitigation measures if sensitive land use is proposed within:</p> <p>500 m of a main railway line or of any provincial highway;                  250 m of a secondary railway line;                  100 m of other railways or freeway right of way; and                  50 m of a provincial highway right-of-way</p>
<p>Electricity generating station, hydro transformers, railway yards, etc.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>If sensitive land use is proposed, and if within 1000 metres, a noise study may be needed to determine possible noise impacts and appropriate mitigation measures.</p>
<p>High voltage electric transmission line</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Consult the appropriate electric power service/utility for required buffer/separation distance.</p>

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Transportation and other infrastructure, utility and hydro corridors	<input type="checkbox"/>	<input type="checkbox"/>		If an OPA is proposed for an area in a planned corridor, demonstrate that the proposed development would not preclude or negatively affect the use of the corridor for the purpose(s) for which it was identified.
Cultural heritage and archaeology	<input type="checkbox"/>	<input type="checkbox"/>		Significant built heritage resources and significant cultural heritage landscapes shall be conserved; adverse impact on these resources are to be mitigated.  Development and site alteration shall only be permitted on lands containing archaeological resources or areas of archaeological potential if significant archaeological resources have been conserved by removal and documentation, or by preservation on site.  Where significant archaeological resources must be preserved on site, only development and site alteration which maintain the heritage integrity of the site may be permitted.  Development and site alteration may be permitted on adjacent lands to protected heritage property will be conserved.  Mitigation measures and/or alternative development approaches may be required in order to conserve heritage attributes of the protected heritage property affected by proposed adjacent development or site alteration.

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<p>Prime Agricultural lands/areas</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>If land is to be excluded from prime agricultural areas to allow for expansion or identification of settlement areas to accommodate growth and development, a comprehensive review must be undertaken.                  Demonstrate the need for use other than agricultural and indicate how impacts are to be mitigated. (Lands could be excluded from prime agricultural areas for non-agricultural uses provided that the criteria as set out in section 2.3.5 of the PPS are met).</p>
<p>Agricultural operations</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>If development is proposed outside of a settlement area, need for compliance with the Minimum Distance Separation Formulae.</p>
<p>Mineral mining operations and petroleum resource operations and known petroleum resources</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>If within 1000 m, demonstrate that development and activities would:                  Not preclude or hinder the expansion of existing operations, or their continued use, or establishment of new resource operations, or access to the resources;                  Not be incompatible for reasons of public health, public safety or environmental impacts                  Development and activities which preclude or hinder the establishment of new operations or access to resources, and are adjacent to or in known mineral deposits,                  petroleum resources, or in significant areas of mineral or petroleum potential are permitted if:                  Resource use is not feasible                  The proposed land use or development serves a greater long-term public interest, and issues of public health, public safety and environmental impacts are addressed.</p>

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<p>Non-operating mine site within 1000 metres</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>If within 1000 metres, demonstrate to the satisfaction of the Ministry of Northern Development and Mines that the mine has been rehabilitated OR all potential impacts have been investigated and mitigated.</p>
<p>Rehabilitated and abandoned mine sites</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>If the proposal is on, adjacent to, or within 1000 m, consult with the Ministry of Northern Development and Mines. Progressive and final rehabilitation is required to accommodate subsequent land uses.</p>
<p>Mineral aggregate operations, and known deposits of mineral aggregate resources</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>There is need for a feasibility study to determine noise, dust/particulate and hydrogeology if sensitive land use is proposed within:                  1000 m of the property boundary line (or licensed area) of any land designated for or an existing pit; or                  1000 m of the property boundary line (or licensed area) of any land designated for or an existing quarry.                  If within 1000 m of a known deposit of sand, gravel or bedrock resource, need to demonstrate that development and activities would:                  Not preclude or hinder the expansion of existing operations, or their continued use, or establishment of new resource operations or access to the resources;                  Not be incompatible for reasons of public health, public safety or environmental impacts.                  Development and activities which preclude or hinder the establishment of new operations or access to resources, and are adjacent to or in known deposits of mineral aggregate resources, are permitted if:                  The resources is not feasible; or                  The proposed land use serves a greater long-term public interest, and issues of public health, public safety and environmental impacts are addressed.</p>

Corporation of the County of Grey  
 Planning and Development Department  
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<p>Natural heritage systems</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>If development and site alteration are proposed in a natural heritage system described in an approved official plan, demonstrate how the diversity and connectivity of natural features and the long term ecological function and biodiversity of the system will be maintained, restored or improved.</p>
<p>Significant wetlands                  Significant habitat of endangered species and threatened species</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Development and site alteration are not permitted in the features.                  Are any significant wetlands, or unevaluated wetlands present on the subject lands or within 120 m?                  Are any known significant habitats present on the subject lands or within 50 m?                  Has there been preliminary site assessment to identify whether potentially significant habitats are present?</p>
<p>Significant woodlands, valleylands                  Significant wildlife habitat                  Significant areas of natural and scientific interest (ANSI)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Development and site alteration are not permitted in the feature unless it can be demonstrated that there will be no negative impacts on the natural features or their ecological functions.                  Indicated if there are any significant woodlands, significant valleylands, significant wildlife habitat, and ANSI's on the subject land of within 50 m.</p>
<p>Fish Habitat</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Development and site alteration are not permitted in fish habitat except in accordance with provincial and federal requirements.                  Is any fish habitat on the subject lands or within 30 m?                  Is any lake trout on the subject lands or within 300 m?                  If yes to any of the above, an environmental impact study may be required.</p>



Corporation of the County of Grey  
 Planning and Development Department  
 County Official Plan Amendment Application Form

<p>Adjacent lands to natural heritage features and areas</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Development and site alteration are not permitted on adjacent land to natural heritage features unless:                  The ecological function of the adjacent lands has been evaluated; and                  It has been demonstrated that there will be no negative impacts on the natural features or their ecological functions.</p>
<p>Sensitive surface water features and sensitive groundwater features</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Development and site alteration are restricted in or near sensitive surface water features and sensitive groundwater features.                  Demonstrate suitable mitigation measures and/or alternative development approaches to protect, improve or restore sensitive surface water features, sensitive groundwater features and their hydrologic functions.</p>
<p>Water Quality and quantity</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>An assessment is generally required to determine potential impacts of development proposals on water quality and quantity.                  If the proposal is adjacent to a water body such as a lake or stream, wetland, spring or groundwater recharge area, an impact assessment on the water body may be needed. As well, in areas of high water table, fractured bedrock or thin overburden, a Hydrogeological report may be required in accordance with the Ministry of Environment (MOE) D-Series Guidelines.                  (These are not the only instances when a technical study may be needed).                  Development adjacent to a lake trout lake must address other requirements. Consult with the Ministry of Municipal Affairs and Housing early in the planning process.                  The province has particular interests in lake trout lakes.</p>

Corporation of the County of Grey  
 Planning and Development Department  
 County Official Plan Amendment Application Form

<p>Natural Hazards</p>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Development should generally be directed to areas outside of hazardous lands and hazardous sites.</p> <p>Is the proposal within:</p> <p>A dynamic beach hazard?</p> <p>The defined portions of the one hundred year flood level along the connecting channels of the Great Lakes?</p> <p>Areas that would be inaccessible as a result of flooding, erosion or dynamic beach hazards and a floodway?</p> <p>Is the proposal subject to limited exceptions such as:</p> <p>Safe access appropriate for the nature of the development and the natural hazard?</p> <p>Special Policy Area?</p> <p>Uses which by their nature must be located in the floodway?</p> <p>Where development is permitted in portions of hazardous lands and hazardous sites not subject to the above prohibitions, flood-proofing, protection works standards and access standards must be adhered to. In addition, vehicles and people need to have a way to safely enter and exit the area, hazards cannot be created or aggravated and there can be no adverse environmental impacts.</p> <p>Is the subject land within or partially within:</p> <p>Hazardous lands adjacent to the shorelines of the Great-Lakes and large inland lakes (includes flooding, erosion and dynamic beach hazards)?</p> <p>Hazardous lands adjacent to river, stream and small inland lake systems (includes flooding and erosion hazards)?</p> <p>Hazardous sites (includes unstable soils and unstable bedrock)?</p>
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Corporation of the County of Grey  
 Planning and Development Department  
 County Official Plan Amendment Application Form

				<p>A special policy area shown in an approved official plan?                  The food fringe in an area subject to the two zone concept of floodplain management?                  If the proposal is in a hazardous area, demonstrate how the hazards will be avoided, or where appropriate, addressed through standards and procedures such as flood-proofing and protection works.</p>
<p>Human-made hazards<sup>4</sup>                  including mine hazards                  and high forest fire                  hazards</p>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Development proposed on abutting or adjacent to lands affected by: mine hazards; oil, gas and salt hazards; or former mineral mining operations, mineral aggregate operations or petroleum resource operations, may be permitted only if rehabilitation measures to address and mitigate known or suspected hazards are under-way or have been completed. Are the subject lands on or within 75 m of existing un-decommissioned oil and gas works?                  Are the subject lands on or within 1000 m of a salt solution mining well? Demonstrate how the hazard(s) will be addressed.</p>
<p>Contaminated sites</p>	<input type="checkbox"/>	<input type="checkbox"/>		<p>To determine potential soil contamination, proponents must complete a Phase 1 Environmental Site Assessment (ESA) as per the Ministry of Environment regulation. A Phase 2 Environmental Site Assessment would be needed if the site has potential for soil contamination.                  Remediation of contaminated sites shall be undertaken, as necessary, prior to any activity on the site(s) associated with any proposed new sensitive use such that there will be no adverse effects.</p>

Crown Lands <sup>5</sup>	<input type="checkbox"/>	<input type="checkbox"/>	Consult your local regional Municipal Services Office as the first point of contact for assistance in dealing with planning issues relating to proposals requiring the acquisition or use of Crown Lands.  Contact the Ministry of Natural Resources District Office regarding the actual acquisition or use of Crown Land.
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**Notes:**

- Class 1 Industry** – small scale, self-contained plant, no outside storage, low probability of fugitive emissions and daytime operations only.
- Class 2 Industry** – medium scale processing and manufacturing with outdoor storage, periodic output of emissions, shift operations and daytime truck traffic.
- Class 3 Industry** – indicate if within 1000 metres; processing and manufacturing with frequent and intense off-site impacts and a high probability of fugitive emissions.
- Hazardous Sites** – property or lands that could be unsafe for development or alteration due to a naturally occurring hazard(s). These hazards may include unstable soils (sensitive marine clays – Leda, organic soils) or unstable bedrock (Karst topography)
- Crown Lands** - Certain areas are identified by MNR as being of special interests, such as lake access points.
- Table A Distances** - quoted are approximate and are intended for your guidance in assessing your application.



January 22, 2025

Township of Southgate:

Elisha Milne  
Legislative and Planning Coordinator  
185667 Grey County Road 9  
Dundalk, Ontario N0C 1B0  
[emilne@southgate.ca](mailto:emilne@southgate.ca)

Grey County:

Claudia Markworth  
Administrative Assistant, Planning  
595 9th Avenue East  
Owen Sound ON N4K 3E3  
[claudia.markworth@grey.ca](mailto:claudia.markworth@grey.ca)

**RE: 185673 Grey Road 9, Township of Southgate  
County Official Plan Amendment, Township Official Plan Amendment, and Zoning  
By-law Amendment  
OUR FILE: 2350B**

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On behalf of Ridgeview Lumber Inc., we are pleased to submit applications for a County Official Plan Amendment, Township Official Plan Amendment, and Zoning By-law Amendment for the property addressed as 185673 Grey Road 9, Southgate. The owner of the lands is proposing to expand the existing on-farm diversified use located on the lands.

The lands are located on the north-east corner of Grey Road 9 and Sideroad 13. They have an area of 41.8 hectares (103 acres) with approximately 420 metres of frontage on Grey Road 9. The lands are primarily in agricultural use consisting of crops and livestock. A portion of the lands are used as an on-farm diversified use (lumber yard and a workshop).

The County Official Plan and Township Official Plan designate the lands as 'Rural' and 'Hazard Lands'. The Zoning By-law zones the lands Agriculture (A1). The lands were subject to a Zoning By-law Amendment in 2022 which established site specific zoning for the on-farm diversified use (A1-530).

At the time, no Official Plan amendments were required. The A1-530 zone applies only to the on-farm diversified use, and the balance of the lands remain zoned A1.

The owner of the lands is proposing to expand the on-farm diversified use for the purpose of increasing the overall storage area for materials. The proposed expansion includes adding more outdoor storage as well as an open-air covered storage structure. Specifically, the site plan illustrates three alterations to the on-farm diversified use:

1. Adding an area for incoming lumber, identified as "F" on the site plan. This area is 1,125m<sup>2</sup> in size and is within the boundary of the on-farm diversified use but is not being utilized.
2. Adding an open-air covered storage structure (roof with no walls) identified as "B-3" on the site plan. The area proposed for covered storage is 373m<sup>2</sup>. This area is outside of the A1-530 zone and will need to be added.
3. Adding another area for outdoor storage identified as "A" on the site plan. This area is 762.5m<sup>2</sup> and is outside of the on-farm diversified use boundary.

In order to facilitate the proposal, amendments to both Official Plans and the Zoning By-law are required.

#### County Official Plan Amendment

In the Rural designation, the County requires that on-farm diversified uses occupy a maximum of 2% of a farm property. The proposal (#3 above) will result in an increase to the area of the on-farm diversified use. The proposal will increase the use to 2.25% of the total farm property. A County Official Plan Amendment is required to increase the size of the on-farm diversified use to occupy 2.25% of the property area.

#### Southgate Official Plan Amendment

Similar to the County, in the Rural designation, on-farm diversified uses can occupy up to 2% of the total property area. Additionally, the Township limits building area of on-farm diversified uses to 20% (up to a maximum of 750m<sup>2</sup>) of the area dedicated to the on-farm diversified use.

The proposal will result in the enlargement of the area occupied by the on-farm diversified use to 2.25% of the total lot (#3 above). The proposal also includes the construction of a covered storage area. While the covered storage area will not be functional as a building, a structure with a roof and no walls is still considered a building under the OBC. Therefore, the covered structure will technically increase the building footprint from 750m<sup>2</sup> to 1,123m<sup>2</sup> (#2 above). An amendment to the Official Plan is required to establish a site specific policy to permit an on-farm diversified use with a maximum area of 2.25% and a building footprint of 1,123m<sup>2</sup>.

#### Zoning By-law Amendment

The A1-530 regulations are proposed to be amended. Currently, Schedule A of the A1-530 zone applies to an area of 7,998m<sup>2</sup>. The amendment seeks to increase the area of the A1-530 zone to 9,300m<sup>2</sup>. Additionally, Regulation (b) of the A1-530 zone requires that the maximum combined size of the workshop, power room, office and lunchroom be 750m<sup>2</sup>. The proposal includes adding a covered storage area that will form part of the workshop. An amendment proposes to increase the size of the workshop from 750m<sup>2</sup> to 1,123m<sup>2</sup>. Lastly, Regulation (c) states that: The maximum size of all outdoor storage be 500m<sup>2</sup>. The proposal includes increasing the amount of outdoor storage area from 500m<sup>2</sup> to 2,500m<sup>2</sup>.

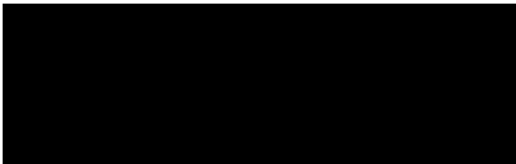
In support of the proposed amendments, a Planning Rationale Report has been prepared and is included with the submission. The Report assesses the proposal against the applicable policy framework and evaluates the merit of the proposed amendments. Accordingly, please find enclosed with this submission the following:

- Signed County Application Form;
- Signed Township Application Form;
- Site Plan, Prepared by EMS Construction Inc; and
- Planning Report, prepared by MHBC Planning Ltd.

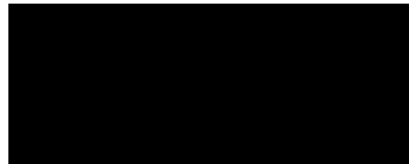
The applicable County and Township application fees will be provided under separate cover. Should you require anything further, including a hard copy submission, please contact the undersigned. We look forward to working with the County and Township on these applications.

Yours truly,

**MHBC**

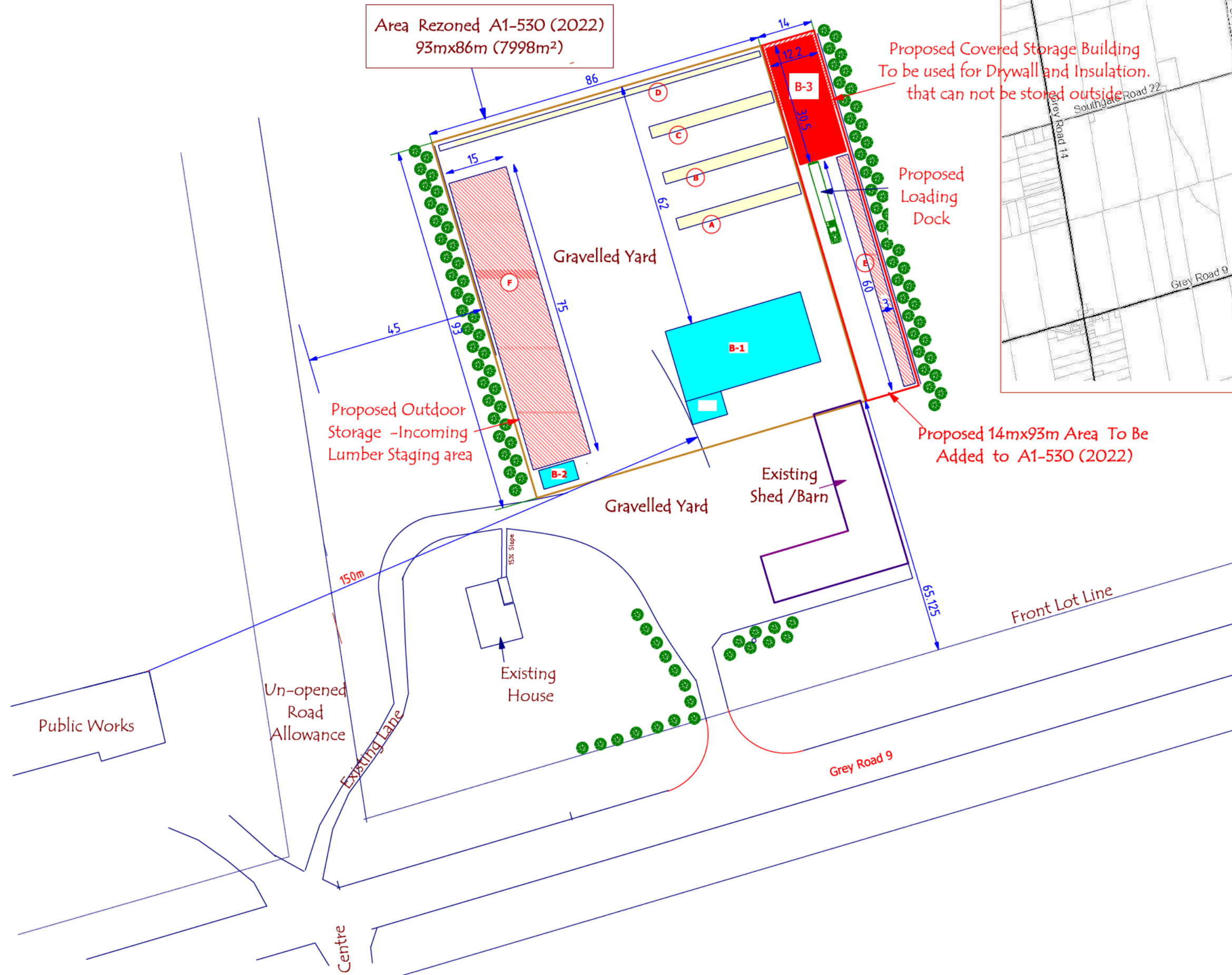


Pierre Chauvin, BSc(Agr), MA, MCIP, RPP  
Partner



Gillian Smith, MSc, MCIP, RPP  
Senior Planner





Schedule A	
Area	Count
Farm Lot	418,850m <sup>2</sup> (41.88h)
Existing area of the lumber yard	7,998m <sup>2</sup>
Area to be added (B-3 & A)	1,302m <sup>2</sup>
<b>New total area of lumber yard</b>	<b>9,300m<sup>2</sup> (2.2% of lot area)</b>
Existing Buildings B-1, B-2	750m <sup>2</sup> (1.8% of zoned area)
Building footprint to be added (B3)	373m <sup>2</sup>
<b>New Total building footprint</b>	<b>1,123m<sup>2</sup></b>
Existing Outside Storage A-D	500m <sup>2</sup>
Proposed Outside Storage E-F	1,305m <sup>2</sup>
<b>New total outdoor storage area</b>	<b>1805m<sup>2</sup></b>

< Proposed Project >	
<b>Site Plan</b>	
< Drawing Title > <b>Siteplan-2025 -01</b>	
< Property Owner > <b>Ridgeview Lumber Inc.</b> Phone: [REDACTED]	
< Project Address > <b>185673 Grey Road 9 Dundalk Ont.</b>	
CON 13 LOT 18 (Proton)	
< Drawing Scale > 1:1000	Revision-
Drawn By E.M.S	Page:
Drawing Date	January 7, 2025





# PLANNING JUSTIFICATION REPORT

**Official Plan & Zoning By-Law  
Amendments**

185673 Grey Road 9,  
Township of Southgate

File no. 2350B

**January 20, 2025**



PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE

*Your Vision*  
*Designed | Planned | Realized*  
MHBC - MacNaughton Hermsen Britton Clarkson Planning Limited  
200-540 Bingemans Centre Drive Kitchener, ON N2B 3X9  
T: 519 576 3650  
F: 519 576 0121  
[www.mhbcplan.com](http://www.mhbcplan.com)

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Figure 5 – Township Official Plan Land Use Map

Figure 6 – Township Official Plan (proposed amendment)

Figure 7 – Township Zoning By-law

Figure 8 – Township Zoning By-law (proposed amendment)

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# 1.0 Introduction

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## 1.1 Purpose of the Application

MacNaughton Hermsen Britton Clarkson Planning Limited (hereinafter “MHBC”) has been retained by EMS Construction Inc., to provide planning rationale in support of a proposed Official Plan Amendment and Zoning By-law Amendment for the lands addressed as 185673 Grey Road 9 in the Township of Southgate, Grey County (the subject lands). The owner of the subject lands currently operates an on-farm diversified use (workshop and lumber yard) on a portion of the property. The owner is proposing to increase the size of the workshop and yard. In order to facilitate the increase, amendments to the County Official Plan, Township Official Plan and Zoning By-law are required.

The lands are designated in the Grey County Official Plan and Township of Southgate Official Plan as ‘Rural’ and ‘Hazard Lands’. The Official Plan policies for Rural lands permit on-farm diversified uses up to a maximum of 2% of the total lot area. The Township Zoning By-law zones the lands ‘A1-530’ (Agricultural) and ‘EP’ (Environmental Protection). The A1-530 zone has site specific regulations that allow small scale industrial uses and limit outdoor storage to 500m<sup>2</sup>. The proposal is to increase the maximum size of the on-farm diversified use to 9,300m<sup>2</sup> (2.25% of the lands) as well as increase the maximum area for outdoor storage to 2,500m<sup>2</sup>.

This planning justification report has been prepared outlining the merits of the proposal. The Township did not identify any other studies or reports to be submitted as part of a complete application.

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## 1.2 Subject Lands

The subject lands are legally described as Part Lot 18 Concession 13. The lands are on the north-east corner of Grey Road 9 and Sideroad 13 Southgate. The lands have an area of 41.8 hectares (103 acres) with approximately 420 metres of frontage on Grey Road 9. The predominant land use consists of agriculture (crops and livestock) with some natural heritage. A portion of the lands are used as a lumber yard consisting of an outdoor storage area and a workshop.

As illustrated on **Figure 1**, the surrounding area is characterized as a rural landscape with agricultural, natural heritage, aggregate and dry industrial uses. The immediate surrounding context is described in detail below.

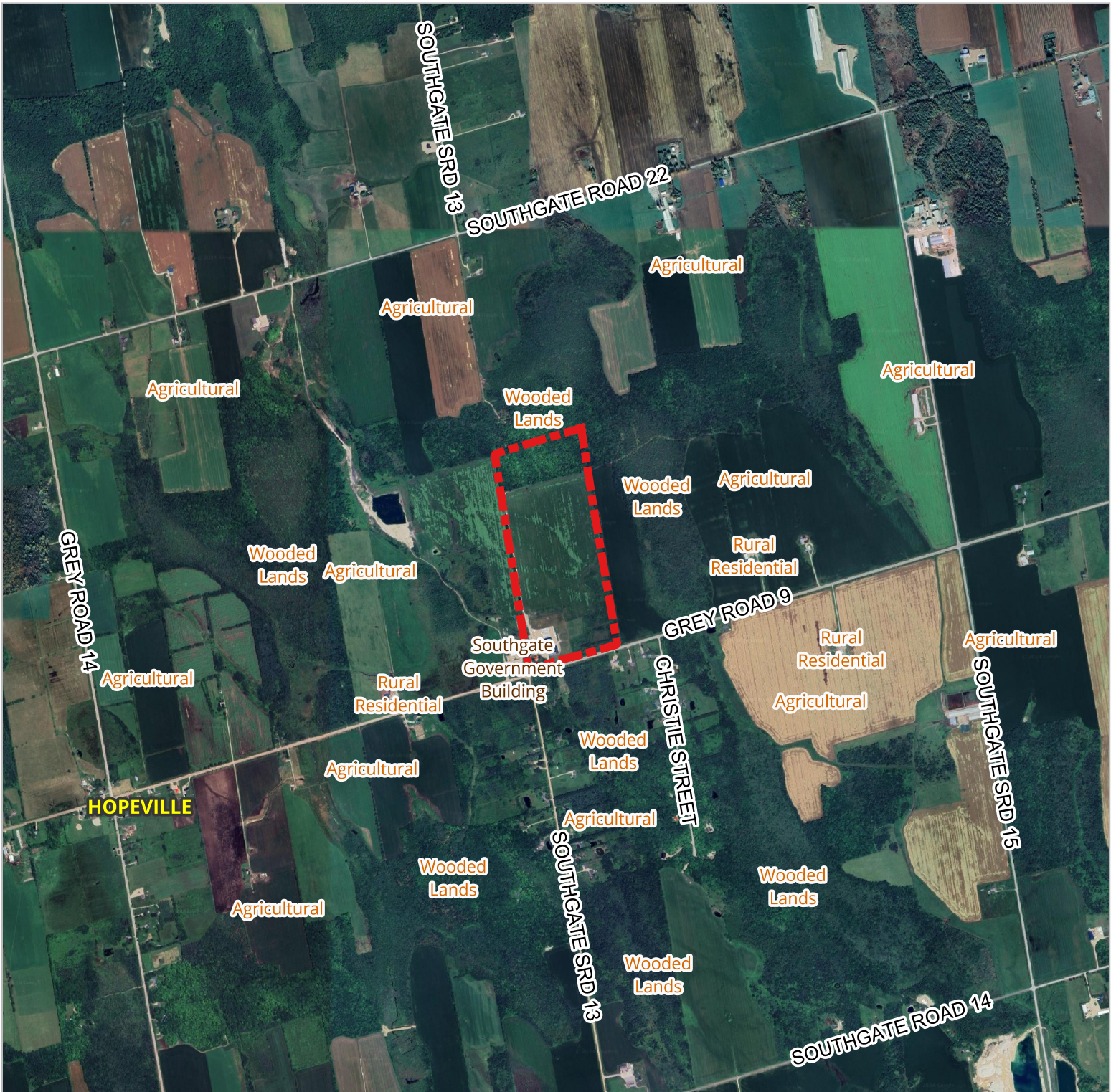
- North:** The area to the north is mostly comprised of natural heritage features in the form of woodlots, with some smaller agricultural parcels, as well as rural residential lots.
- East:** Grey Road 9 east of the lands has a mix of agricultural parcels and smaller rural residential and industrial lots on the south frontage.

**South:** To the south along Sideroad 13 are several rural residential lots within natural heritage/woodlots. Further south are agricultural parcels and some dry industrial uses.

**West:** To the west and opposite the lands is the Township of Southgate government building. Further west is the settlement area of Hopeville. There are also some agricultural land uses.


The subject lands are located on Grey Road 9 which is designated as a County Arterial Road. County Arterial roads are the major roads of the County intended to serve high volumes of traffic and connect to provincial highways. Sideroad 13 is a local road.





**Figure 1  
Context Map**

**LEGEND**

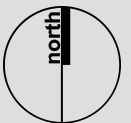
 Subject Lands

Date: December 2024

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**185673 Grey Road 9**  
Township of Southgate  
Grey County



**PLANNING  
URBAN DESIGN  
& LANDSCAPE  
ARCHITECTURE**



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# 2.0 Proposed Development

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## 2.1 Overview of Proposed Development

The primary use of the lands is agricultural, consisting of crops and livestock (sheep and horse). The farmer and owner of the lands resides on-site. In 2022 the lands were re-zoned to an Agricultural special zone (A1-530) to establish site specific regulations to allow for an on-farm diversified use consisting of a lumber yard on a portion of the property. The lumber yard is a secondary use to the primary agricultural operation.

The landowner has identified a need for additional storage to continue the successful operation of the on-farm diversified use. In order to meet current and anticipated demands and inventory, the lumber yard needs to expand. The intent of the proposal is to support the continued economic viability of the property. While the agricultural use is a primary economic contributor, the lumber yard plays a critical role in the viability of the property and supports the overall farm operation.

The proposal includes increasing the area for outdoor storage and adding a covered storage area. A concept plan has been prepared (**Figure 2**) to illustrate the proposed changes to the A1-530 zone:

- An area for incoming lumber is proposed, identified as "F" on the site plan. This area is 1,125m<sup>2</sup> in size and is already within the boundary of the A1-530 zone, however, is not currently utilized.
- A proposed covered storage building is identified as "B-3" on the site plan. The area proposed for covered storage is 373m<sup>2</sup>. This area is outside of the A1-530 zone and will need to be added.
- Additional outdoor storage is identified as "A" on the site plan is 762.5m<sup>2</sup>. This area is outside of the A1-530 zone and will need to be added.

The purpose of the proposal is to increase the amount of storage space for lumber. The covered storage structure will be an open-air structure with a roof (no walls) to provide a protected area for some materials. The owner has experienced unpredictable weather conditions that can cause damage to the lumber. The covered structure will provide an opportunity for storing materials securely for extended periods. The Ontario Building Code defines a building as having a roof or walls but does not require both a roof and walls to be considered a building. The covered storage structure is therefore considered a building.

Currently, the lumber yard is 7,998m<sup>2</sup> in area, as determined by Schedule A of the A1-530 zone. With the addition of areas "B-3" and "A", the area would increase to 9,300m<sup>2</sup>, approximately 2.25% of the total property area. Additionally, the outdoor storage area would increase by 2,000m<sup>2</sup> to 2,500m<sup>2</sup>. The new structure would increase the building footprint to 1,123m<sup>2</sup>. The table below describes the alterations proposed to the existing use.

**Table 1.0**

<b>Existing area of the lumber yard</b>	<b>7,998m<sup>2</sup></b>
Area to be added (B-3 & A)	1,302m <sup>2</sup>
<b>New total area of lumber yard</b>	<b>9,300m<sup>2</sup></b>
Building area to be added (B-3)	373m <sup>2</sup>
<b>New total building footprint</b>	<b>1,123m<sup>2</sup></b>
Outdoor storage to be added (F & A)	2,000m <sup>2</sup>
<b>New total outdoor storage area</b>	<b>2,500m<sup>2</sup></b>

---

## 2.2 Planning Applications

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### 2.2.1 Official Plan Amendment

#### **County Official Plan Amendment**

The County requires that on-farm diversified uses occupy a maximum of 2% of a farm property. The proposal will increase the use to 2.25% of the property. A County Official Plan Amendment is required to increase the size of the on-farm diversified use to occupy 2.25% of the property area.

#### **Southgate Official Plan Amendment**

Similar to the County, on-farm diversified uses can occupy up to 2% of the total lot area. Additionally, the Township restricts building area of on-farm diversified uses to 20% up to a maximum of 750m<sup>2</sup> of the area dedicated to the on-farm diversified use.

The proposal will result in the enlargement of the area occupied by the on-farm diversified use to 2.25% of the total lot. The proposal also includes the construction of a covered storage area, which will increase the building footprint from 750m<sup>2</sup> to 1,123m<sup>2</sup>. An amendment to the Official Plan is required to establish a site specific policy to permit an on-farm diversified use with a maximum area of 2.25% and a building footprint of 1,123m<sup>2</sup>.

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### 2.2.2 Zoning By-law Amendment

The proposed application is to amend the A1-530 zone regulations and schedule in order to expand the on-farm diversified use, its outdoor storage area, and building footprint. Schedule A of the A1-530 zone applies to an area of 7,998m<sup>2</sup>. The amendment seeks to increase the area of the A1-530 zone to 9,300m<sup>2</sup>.

Additionally, Regulation (b) of the A1-530 zone requires that:

- *The maximum combined size of the workshop, power room, office and lunchroom shall be 750m<sup>2</sup>*

The proposal includes adding a covered storage area consisting of an open air structure (roof with no walls). The covered storage area is considered a building per the Ontario Building Code and will form part of the workshop. Therefore, the amendment proposes to increase the size of the workshop from 750m<sup>2</sup> to 1,123m<sup>2</sup>.

Regulation (c) states that:

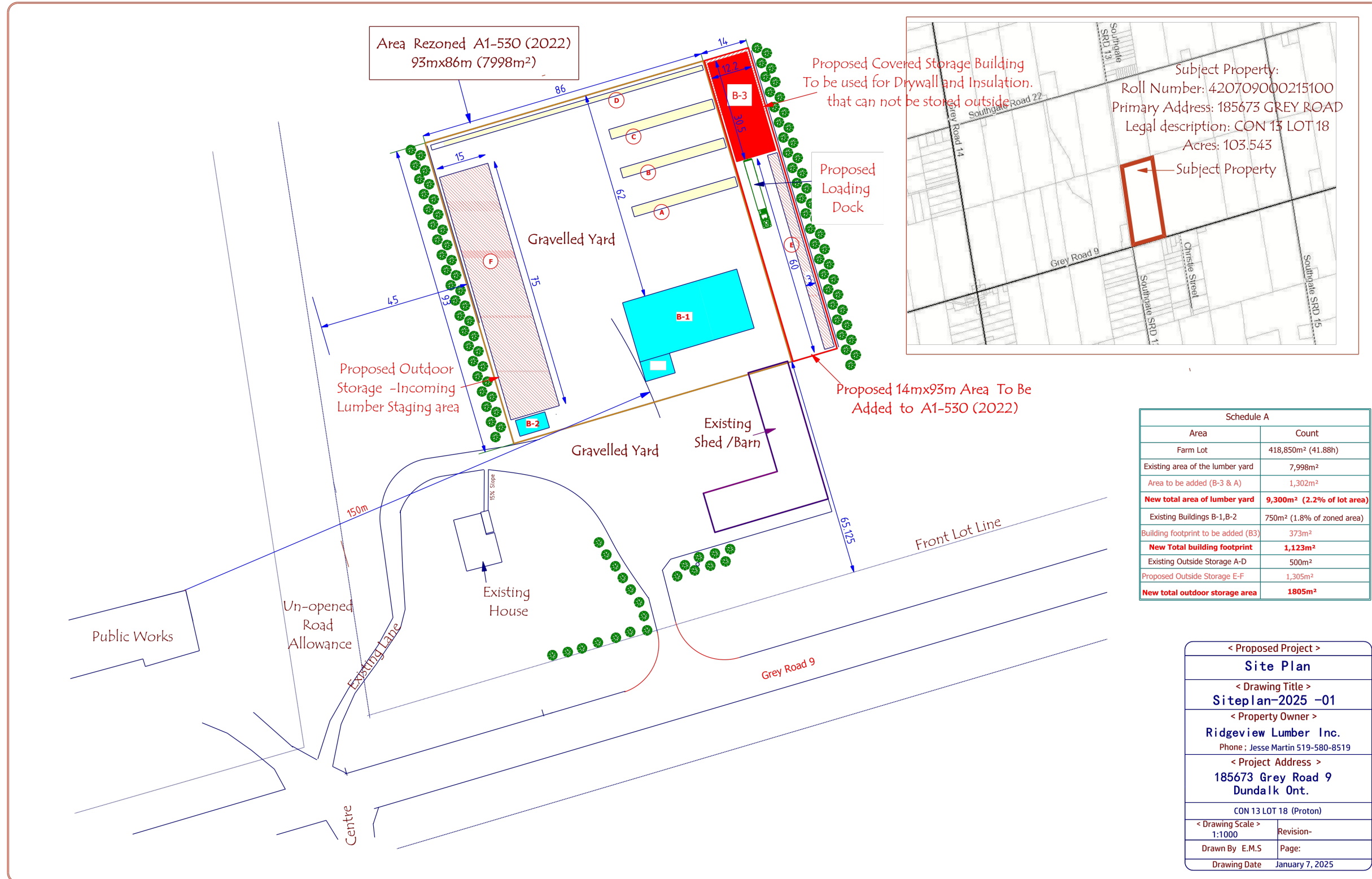
- *The maximum size of all outdoor storage shall be 500m<sup>2</sup>. If the size of the shop is less than 750m<sup>2</sup> the outside storage area may be expanded provided the combined size of outdoor storage and building area does not exceed 1250m<sup>2</sup>.*

The proposal includes increasing the amount of outdoor storage area from 500m<sup>2</sup> to 2,500m<sup>2</sup>.



# Figure 2 Site Plan

185673 Grey Road 9  
Township of Southgate  
Grey County



Schedule A	
Area	Count
Farm Lot	418,850m <sup>2</sup> (41.88h)
Existing area of the lumber yard	7,998m <sup>2</sup>
Area to be added (B-3 & A)	1,302m <sup>2</sup>
<b>New total area of lumber yard</b>	<b>9,300m<sup>2</sup> (2.2% of lot area)</b>
Existing Buildings B-1, B-2	750m <sup>2</sup> (1.8% of zoned area)
Building footprint to be added (B3)	373m <sup>2</sup>
<b>New Total building footprint</b>	<b>1,123m<sup>2</sup></b>
Existing Outside Storage A-D	500m <sup>2</sup>
Proposed Outside Storage E-F	1,305m <sup>2</sup>
<b>New total outdoor storage area</b>	<b>1805m<sup>2</sup></b>

< Proposed Project >	
<b>Site Plan</b>	
< Drawing Title >	
<b>Siteplan-2025 -01</b>	
< Property Owner >	
<b>Ridgeview Lumber Inc.</b>	
Phone : Jesse Martin 519-580-8519	
< Project Address >	
<b>185673 Grey Road 9</b>	
<b>Dundalk Ont.</b>	
CON 13 LOT 18 (Proton)	
< Drawing Scale >	Revision-
1:1000	
Drawn By E.M.S	Page:
Drawing Date	January 7, 2025

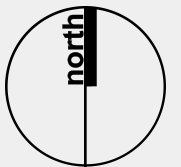
NOTE: Site plan from E.M.S (January 7, 2025)

Date: January 2025

Scale: N.T.S.

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# 3.0 Policy Context & Analysis

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## 3.1 Provincial Planning Statement, 2024

The Provincial Planning Statement (PPS) was issued under section 3 of the *Planning Act* and came into effect October 20, 2024. The PPS outlines the land use policy for Ontario, establishing the policy foundation for regulating the development and use of land to achieve the provincial goal of meeting the needs of a fast-growing province while enhancing the quality of life. The PPS recognizes the inter-relationships among environmental, economic, health and social factors in land use planning, supporting an integrated and long-term approach to planning. One of the key considerations of the PPS is that planning decisions "*shall be consistent with*" the Planning Statement. The PPS has 6 chapters, which establish policies for the various aspects of land use planning. Relevant policies are addressed within the context below.

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### 3.1.1 Rural Areas and Rural Lands

The PPS provides policies for Rural Areas in section 2.5. Rural Areas are a system of land that comprise rural settlement areas, rural lands, prime agricultural areas, natural heritage and resource areas. Policy 2.5.1 promotes diversification of the economic base and providing increased economic activities. The subject lands comprise rural lands within a rural area and are designated 'Rural' in the County and Township Official Plans.

Policy 2.6 speaks more specifically to rural lands and outlines permitted uses, which include:

- a) *the management or use of resources;*
- b) *resource-based recreational uses (including recreational dwellings not intended as permanent residences);*
- c) *residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage and water services;*
- d) *agricultural uses, agriculture-related uses, on-farm diversified uses and normal farm practices, in accordance with provincial standards;*
- e) *home occupations and home industries;*
- f) *cemeteries; and*
- g) *other rural land uses.*

The subject lands are designated Rural in both the County and Township Official Plans. While the lands are not designated Agriculture, agricultural uses are permitted as the lands form part of the rural area.

On-farm diversified uses are permitted on agricultural and rural lands. Subsection 3.1.3 of this report reviews the agricultural and on-farm diversified policies of the PPS.

---

### 3.1.2 Natural Heritage

Chapter 4 of the PPS outlines policies for the wise use and management of resources, which include natural heritage and agriculture. Natural heritage policies are within section 4.1 of the PPS, providing that natural features and areas are to be protected for the long term and the ecological functions should be maintained. Development or site alteration is not permitted on adjacent lands to natural heritage features unless no negative impacts have been identified.

The subject lands contain natural heritage features and a portion of the lands are designated Hazard Lands, comprising woodland features. No change is proposed within the area containing the natural heritage. The proposal is simply proposing to utilize un-used space in the Rural designation for additional storage. No development within or adjacent to the natural heritage features is proposed.

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### 3.1.3 Agriculture

Policies for agriculture are provided in section 4.3 of the PPS, which require municipalities to use an agricultural systems approach to maintain an agricultural land base. As part of the agricultural land base, prime agricultural areas are to be designated and protected for long-term use for agriculture. The subject lands are not recognized in the County or Township Official Plan as prime agricultural. However, the Zoning By-law has zoned a portion of the lands as Agricultural.

The PPS provides a definition for 'prime agricultural area':

*"means areas where prime agricultural lands predominate. This includes areas of prime agricultural lands and associated Canada Land Inventory Class 4 through 7 lands, and additional areas with a local concentration of farms which exhibit characteristics of ongoing agriculture. Prime agricultural areas may be identified by a planning authority based on provincial guidance or informed by mapping obtained from the Ontario Ministry of Agriculture, Food and Agribusiness and the Ontario Ministry of Rural Affairs or any successor to those ministries."*

The subject lands have CLI classification of 6, 4, 2 and 1. The portion of the lands where the on-farm diversified use is located is classified as 6 and 4 (identified with limitations due to topography). The lands are also within an area that has characteristics of ongoing agriculture. Therefore, the lands can be considered to be prime agricultural in the context of the PPS.

In prime agricultural areas, permitted uses are agricultural uses, agricultural related uses and on-farm diversified uses. On-farm diversified uses means uses that are secondary to the principal agricultural use of the property, and are limited in area. Among the many uses permitted as an on-farm diversified use include home occupations and home industries. On-farm diversified uses shall be compatible with, and shall not hinder, surrounding agricultural operations. The suitability of on-farm diversified uses is determined through Provincial Publication 851, the *Guidelines on Permitted Uses in Prime Agricultural Areas*, as well as through local policies.

The primary use of the lands is agricultural, with a secondary on-farm diversified use, consisting of a home industry. A previous Zoning By-law amendment was submitted to establish the home industry use on the property. The home industry use is ancillary to the agricultural operation of the lands and

provides a form of income to support agricultural investment and opportunity for the farm family. Chapter 1 of the PPS outlines the vision for planning in Ontario, stating that Ontario's agricultural sector will contribute to the provinces economic prosperity. This is echoed in the Rural Areas policies which encourage economic opportunity and diversification in the rural areas. The proposal is to increase the size of the on-farm diversified use such that it can continue to be a successful supplemental income to the farm. To accommodate this increase, lands not currently in agricultural use that abut the home industry will be converted into additional storage. The proposal will not hinder the primary agricultural operation on the lands, will provide additional economic opportunity and therefore meets the policies of the rural areas and prime agricultural areas.

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## 3.2 Guidelines on Permitted Uses in Prime Agricultural Areas

The Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) Guidelines on Permitted Uses in Ontario's Prime Agricultural Areas (Publication 851) is a tool to assist with the interpretation of the PPS policies relating to agricultural uses. As provided in policy 4.3.2.1 of the PPS, any proposed on-farm diversified use is to meet the provincial criteria established for such uses. At this time, the most current provincial criteria referenced within this policy is contained in Publication 851.

Specifically, section 2.3 of Publication 851 outlines the criteria for on-farm diversified uses and are set out below.

1. *Located on a farm.*

*The on-farm diversified use must be located on a farm property that is actively in agricultural use.*

The subject lands are in active agricultural use. The on-farm diversified use is an existing use that was established through site specific regulation A1-530 on a portion of the property.

2. *Secondary to the principal agricultural use of the property.*

*The current agricultural use of the property must remain the primary use of the property. This is determined in both spatial and temporal terms. Spatially, the use is to be secondary to the agricultural use. Temporal refers to an intermittent or temporary use and is not applicable to this proposal.*

The primary use of the lands is, and will continue to be, agricultural. The existing home industry is a secondary use, subordinate to the agricultural operation. The use is located in an area that is removed from the agricultural use and does not impede on the ability to farm the land.

3. *Limited in Area*

*This criterion is intended to: minimize the amount of land taken out of agricultural production, if any; ensure agriculture remains the main land use in prime agricultural areas; and limit off-site impacts (e.g., traffic, changes to the agricultural-rural character) to ensure compatibility with surrounding agricultural operations.*

Generally, the guidelines require on-farm diversified uses to occupy up to 2% of the total property area. When occupying more than 2%, consideration for PPS policies on non-agricultural uses shall be had.

Table 1.0 expresses the existing and proposed area of the on-farm diversified use. Currently, the on-farm diversified use is 7,998m<sup>2</sup> in area, representing 1.9% of the total lot area. The proposal will expand the on-farm diversified use to 9,300m<sup>2</sup> which will occupy 2.25% of the total lot area. This is a slight increase to the maximum 2% lot coverage. Despite this small increase, policies on non-agricultural uses are to be considered.

Policy 4.3.5 sets out the policies for non-agricultural uses in prime agricultural areas. Limited non-residential uses on agricultural lands are permitted when a set of criteria have been met or demonstrated, set out below.

*1. the land does not comprise a specialty crop area*

The subject lands do not contain specialty crop area. While Grey County does contain one specialty crop area being an apple growing area, the subject lands are not part of this.

*2. the proposed use complies with the minimum distance separation formulae*

The MDS implementation guideline is issued under Publication 853 The Minimum Distance Separation document. Implementation guideline #10 requires MDS 1 setbacks for zoning or official plan amendments. However, it states that "Amendments to rezone or redesignate land already zoned or designated for a non-agricultural use, shall only need to meet the MDS I setbacks if the amendment(s) will permit a more sensitive land use than existed before". This means that for lands already permitted to have non-agricultural uses, compliance with MDS 1 is not required unless the land use is changing. In the case of the subject proposal, the amendment does not involve changing the land use. The subject lands are already zoned through A1-530 to permit the use. Therefore, the proposal is not required to comply with MDS 1.

*3. there is an identified need within the planning horizon identified in the official plan for additional land to accommodate the proposed use*

The Official Plan recognizes in section 3.5.4 that smaller scale industry uses established on farm parcels throughout the Township's countryside will continue. The Township Official Plan sets out policies for the Rural designation, which permits on-farm diversified uses. While the Official Plan does not identify a specific need for the land owner, it does encourage on-farm diversification and small scale industry uses in the Countryside. The land owner has identified a need for more storage to continue the successful operation of the on-farm diversified use. In order to meet current and anticipated inventory, the lumber yard needs to expand. The agricultural use is a primary economic contributor to the farm property, the lumber yard plays a critical role in the viability of the property and supports the overall farm operation.

*4. alternative locations have been evaluated, and i. there are no reasonable alternative locations which avoid prime agricultural areas; and ii. there are no reasonable alternative locations in prime agricultural areas with lower priority agricultural lands.*



The portion proposed to accommodate the additional outdoor storage is not currently in agricultural production. The area proposed for outdoor storage consists of a gravel area, with some minor vegetation. The expansion would therefore not be removing productive agricultural land. Additionally, the subject lands are not designated Agricultural, they are intended for Rural use. The Rural designation permits uses such as contractors yards. The storage area would function similar to a contractors yard but on a smaller scale and therefore is considered reasonable in the context of the Rural designation. There are no other reasonable alternatives on the property, and the proposal is not removing active agricultural lands from production.

Based on the above analysis, the proposed increase in the lumber yard area to 2.25% is a slight increase to the maximum 2%. The proposal has been assessed against the policies of non-agricultural uses and have demonstrated compliance. In our opinion, the proposed increase is minor and appropriate for the existing operation resulting in no removal of active agricultural lands.

4. *Includes, but is not limited to, home occupations, home industries, agri-tourism uses and uses that produce value-added agricultural products. (From the PPS definition)*

A previous Zoning By-law amendment was approved to permit the use on the property. The existing use is considered a home industry under the PPS definition of on-farm diversified use. The proposed new storage area will not alter or change the home industry use.

5. *Shall be compatible with, and shall not hinder, surrounding agricultural operations.*

*Compatibility considerations include whether it hinders agricultural operations, if appropriate services and infrastructure are available, it maintains the agricultural character of the area, meets environmental standards and does not undermine the agricultural nature of the area.*

The proposed outdoor storage area will not hinder the primary agricultural use of the subject lands. The area proposed to accommodate additional storage is not in agricultural use. The livestock and cropping uses will continue without impact to their operation. The proposed alteration to the on-farm diversified use includes landscape buffers from the agricultural uses, neighbouring properties and the public. The subject lands are also sloped and the lumber yard is not visible from the public roadway. The agricultural character of the lands will be maintained and the agricultural nature of the area will not be impacted. The proposed use will not impact the subject lands or surrounding agricultural character.

Based on the above analysis, the proposed changes to the on-farm diversified use are appropriate and are consistent with the guidelines for on-farm diversified uses. There are no changes to the number of employees, retail component or workshop. There will therefore be no increase in traffic or hours of operation. The proposal is appropriate as an on-farm diversified use that meets the required criteria. There are no adverse impacts expected on the subject lands or surrounding area. The primary use of the subject lands will continue to be agricultural, and the increase of the use to 2.25% of the property area is considered minor and appropriate for the continued operation of the farm property.

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## 3.3 County of Grey Official Plan

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### 3.3.1 Rural Land use Type

On Schedule A – Land Use Types (Map 2) the subject property is designated as 'Rural' (see **Figure 3**). The Rural land use type is one of five land use designations that comprise the County Countryside. The Official Plan provides the following land use types for the Countryside:

- Agricultural: prime agricultural farmland where agricultural land uses are the predominant uses;
- Special Agricultural: specialty crops around Georgian Bay and the Niagara Escarpment;
- Rural: a mix of farm, resource, forestry and recreational lands; and
- Mineral Resource and Aggregate Resource: extraction areas.

The County differentiates prime agriculture, specialty crop and rural land uses such that the subject property is not considered to be prime agriculture.

Section 5.4 of the County Official Plan states that Rural Land Use Types will predominantly be used and developed for agricultural, aggregate extraction, recreation and forestry. Rural lands are flexible in terms of lot creation, economic development, tourism, residential, and recreation with priority given to farming and resource uses. Permitted uses include buildings and yards associated with trades, including contractor's yards, plumbing, electrical, heating/cooling shops etc., as well as those permitted in the 'Agricultural' land use. On-farm diversified uses are permitted in the Rural designation.

The vision and principles of the County Official Plan include cultivating Grey with consideration given to the rural and agricultural areas, with the aim to make planning decisions that value growing the rural economy through innovation and on-farm diversified uses. This is further echoed in Section 5.2.2 which provides policies on agricultural development. Policy 5.2.2.1(e) states that Grey County supports strategies for encouraging young farmers and growing opportunities for economic development in agriculture. Among the strategies is the encouragement of on-farm diversification.

Table 8 of the Official Plan provides that on-farm diversified uses in the Rural designation are to be 2% of the total property area or a maximum of 8,000m<sup>2</sup>. The gross floor area of all buildings associated with the on-farm diversified use is to be a maximum of 20% of the area of the on-farm diversified use.

The proposal is to increase the size of the existing on-farm diversified use to occupy 2.25% of the total lot area. The proposed covered storage area would be considered a building and would increase the building coverage of the use to 1,123m<sup>2</sup>, however, this would be within the 20% building area maximum. An amendment is only required to the County Official Plan to increase the on-farm diversified use to exceed 2% (to 2.25%). The amendment is proposing to establish a site specific policy on the property allowing the existing on-farm diversified use to have a maximum area of 9,300m<sup>2</sup> and occupy 2.25% of the total property area (refer to **Figure 4**).

The Official Plan does provide policies when establishing a new on-farm diversified use.

- a) The use or activity does not interfere with, or generate off-site adverse impacts, and is compatible with surrounding uses*

The use is existing and no changes to the use are proposed. The use will therefore continue to be compatible with surrounding uses. As noted, the use is/will be screened from agricultural uses, neighbouring properties and the public. There are no changes to the intensity of the use in terms of employees, retail or traffic.

*b) The use or activity can be sustained by local service levels and infrastructure*

The use is served by private servicing including an existing on-site power room and existing on-site septic and water. No changes to the servicing needs are proposed and the use will continue with existing on-site servicing.

*c) The buildings to be used meet all Building Code requirements for the type of use being proposed*

The proposed structure is considered to meet the definition of a building in the Ontario Building Code, however, it will not function as a true building considering it will only consist of a roof (i.e. not enclosed). The proposed covered storage structure will meet the Building Code requirements.

*d) The scale of the operation is secondary to the active agricultural use on the farm property, and appropriate to the site and the surrounding area*

There are no changes proposed to the agricultural use of the property. The primary use is agricultural, consisting of crops and livestock. The on-farm diversified use will continue to be secondary to these primary agricultural functions, and operate within area not currently being used for agricultural purposes.

*e) The timing and duration of activities does not hinder agricultural operations on site or in the area*

There are no changes to the timing or activities of the on-farm diversified use. This is an existing use and the only alteration proposed is to increasing the storage capacity. All functions of the use will maintained as usual.

*f) For special events, the use or activity represents an occasional activity and is not a regular occurring activity and does not have permanent structures*

This is not applicable to the use.

*g) On-site parking can be accommodated without impacting the agricultural operation*

No change to the parking requirements or layout is proposed. The proposal does not affect the current parking demands for the existing uses.

There is no new on-farm diversified use proposed. The proposal is to expand the existing use and utilize a portion of the lands that is not currently in agricultural operation for storage. The expanded area will not interfere with the ongoing primary agricultural use of the lands, the use will continue to be supported by on-site infrastructure, and the proposed covered structure will be built in accordance with the OBC.



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### 3.3.2 Hazard Land Use Type

A portion of the subject lands are designated Hazard Lands in the County Official Plan. Hazard Lands include floodplains, steep or erosion prone slopes, organic or unstable soils poorly drained areas, and lands along the Georgian Bay shoreline. Generally, these land types have poor drainage. Policies are set out in section 7.2, providing that development should be directed away from Hazard lands.

The existing on-farm diversified use is located in the Rural land use type and not within the Hazard Land area. The proposed expansion will be outside of the Hazard Land area. No development is therefore occurring within the Hazard Land designation.

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### 3.3.3 Summary of Official Plan Amendment

In summary, the proposed use will require an amendment to the County Official Plan to permit an on-farm diversified use occupying up to 2.25% of the total property area. No development will occur within the Hazard Land area. The proposed expansion will utilize currently vacant lands that are not in agricultural use. The Official Plan amendment will not add a use to the property that is not already existing or permitted. The intent is to facilitate the ongoing success of the home industry use, which will also contribute to the financial viability of the primary agricultural operation.

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## 3.4 Township of Southgate Official Plan

The subject lands are designated 'Rural' and 'Hazard Land' in the Township Official Plan (**Figure 5**). The permitted uses for the Rural land use type are set out in section 5.4.1 of the Official Plan and include "Buildings and yards associated with trades, including contractors yards, plumbing, electrical, heating/cooling shops, etc.,". The Rural land use type also permits on-farm diversified uses. For the purposes of this application, the existing lumber yard falls under an on-farm diversified use as a small scale home industry and is a permitted use.

Section 5.4.2.2 sets out the policies for on-farm diversified uses within the Rural land use type, which provides that

- i. On farm diversified uses on lots of 20 hectares or more in area in the Rural designation shall not occupy any more land than the lesser of 2% of the lot area or a maximum of 8,000 square meters, and the associated building(s) situated within this portion of the property shall not occupy more than 20% of the land devoted to the on-farm diversified use up to a maximum of 750 square meters.*

A Township Official Plan amendment is therefore required. The on-farm diversified use is proposed to be increased from 1.9% to 2.25% of the total property area and occupy a total area of 9,300m<sup>2</sup>. The proposal also includes constructing a covered storage building that will increase the building footprint of the use from 750m<sup>2</sup> to 1,123m<sup>2</sup>. The amendment will establish a site specific policy permitting an on-farm diversified use to occupy up to 9,300m<sup>2</sup> of the total property area, and permit buildings associated with the on-farm diversified use to have a maximum area of 1,123m<sup>2</sup> (refer to **Figure 6**).

The permitted size of an on-farm diversified use is guided by the province's Publication 851, which is assessed in section 3.2 of this report. The Guidelines provide that if a use is to occupy an area greater than 2% or 8,000m<sup>2</sup>, consideration for PPS policies on non-agricultural uses is to be had. The PPS

policies for non-agricultural uses are provided in section 4.3.5. These policies have been assessed within section 3.2 of this report and conclude that:

1. the land does not comprise a specialty crop area.
2. MDS formulae does not apply as the land use is not changing.
3. While this specific need is not directly identified in the Official Plan, the Official Plan encourages small scale industrial uses to be established on farm parcels. The owner has identified a need to expand the storage area of the use, which will indirectly support the viability of the farm through supplemental income.
4. The proposed location of the expanded use is no in agricultural use currently. The lands are also not designated in the Official Plan as Agricultural and are intended for Rural use, which has less restrictive policies on land uses and is more conducive to alternative uses, including contractors yards. The proposed outdoor storage area could be considered a type of contractors yard where materials will be stored. The location of the expansion is appropriate.

The Official Plan amendment is considered appropriate for the land. The property is designated as Rural where similar uses are permitted without restriction. However, the home industry is considered to be an on-farm diversified use for the purposes of these applications in order align the zoning and official plans. The use will continue to support the primary agricultural use of the property without removing active agricultural lands or otherwise impacting the farm operations.

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### 3.4.1 Hazard Land use Type

A portion of the lands falls within the Hazard Land use type, shown on **Figure 5**. Within the Hazard Land designation, the Official Plan states that buildings and structures are generally not permitted. The concern with development in Hazard Lands is to ensure human safety and safe access in the event of a flood. Lands within the Hazard Land designation are typically considered to have drainage issues where flooding could occur.

The subject lands do not currently have any buildings or structures within the Hazard Lands. The existing on-farm diversified is outside of the Hazard Lands, and the proposed extension to the on-farm diversified use will continue to be outside of the Hazard Lands area. Therefore, the policies of the Hazard Land use type are not applicable as no changes are proposed.

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### 3.4.2 Summary of Official Plan Amendments

The subject lands are designated Rural and Hazard Land use types. The on-farm diversified use is well outside of the Hazard Lands area and will not be altered or impacted by the proposal. The amendments being sought propose to add site specific policies to the Rural designation on the property that permit:

- An on-farm diversified use with a maximum area of 9,300m<sup>2</sup>, being 2.25% of the total land area
- A maximum building footprint of 1,123m<sup>2</sup> for all buildings and structures associated with the on-farm diversified use

The proposed amendment is required in order to support the continued success of the on-farm diversified use and provide sufficient storage area. There is no change proposed to the land use. The agricultural fields and the livestock operation will be maintained without alteration. The lumber yard is an existing use that is permitted. While the building area will also increase to 1,123m<sup>2</sup>, this will be about

12% of the total on-farm diversified use, which is still within the maximum 20% building footprint. The proposed increases to the use and building footprint will not impede the ongoing agricultural operation of the lands and will support the agricultural use of the lands. The proposed amendments are considered appropriate.

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## 3.5 Zoning By-law

The subject lands are zoned A1 with a portion of the lands zoned A1-530 which is an Agricultural zone with special provisions (**Figure 7**). The A1-530 zone was established through a Zoning By-law amendment in 2022 which sought to add an on-farm diversified use to the property. The A1-530 zone regulations are as follows:

*"additional permitted use of a small scale industrial use, being a dry industrial manufacturing use, which includes but is not limited to, a metal workshop for fabricating, welding manufacture of small equipment and repair shop, woodworking, and the retail sale of lumber and other associated construction materials. The following additional provisions apply.*

- a) The use shall remain secondary to the principle use of the property, being an agricultural use*
- b) The maximum combined size of the workshop, power room, office and lunchroom shall be 750m<sup>2</sup>*
- c) The maximum size of all outdoor storage shall be 500m<sup>2</sup>. If the size of the shop is less than 750m<sup>2</sup> the outside storage area may be expanded provided the combined size of outdoor storage and building area does not exceed 1250m<sup>2</sup>.*
- d) All outside storage shall be screened from view by way of fencing or landscaped buffer,*
- e) The shop shall be setback a minimum of 75m from the front lot line along Grey Road 9.*
- f) The shop shall be setback a minimum of 93m from a side lot line.*
- g) g) A Saw mill use remains a prohibited use."*

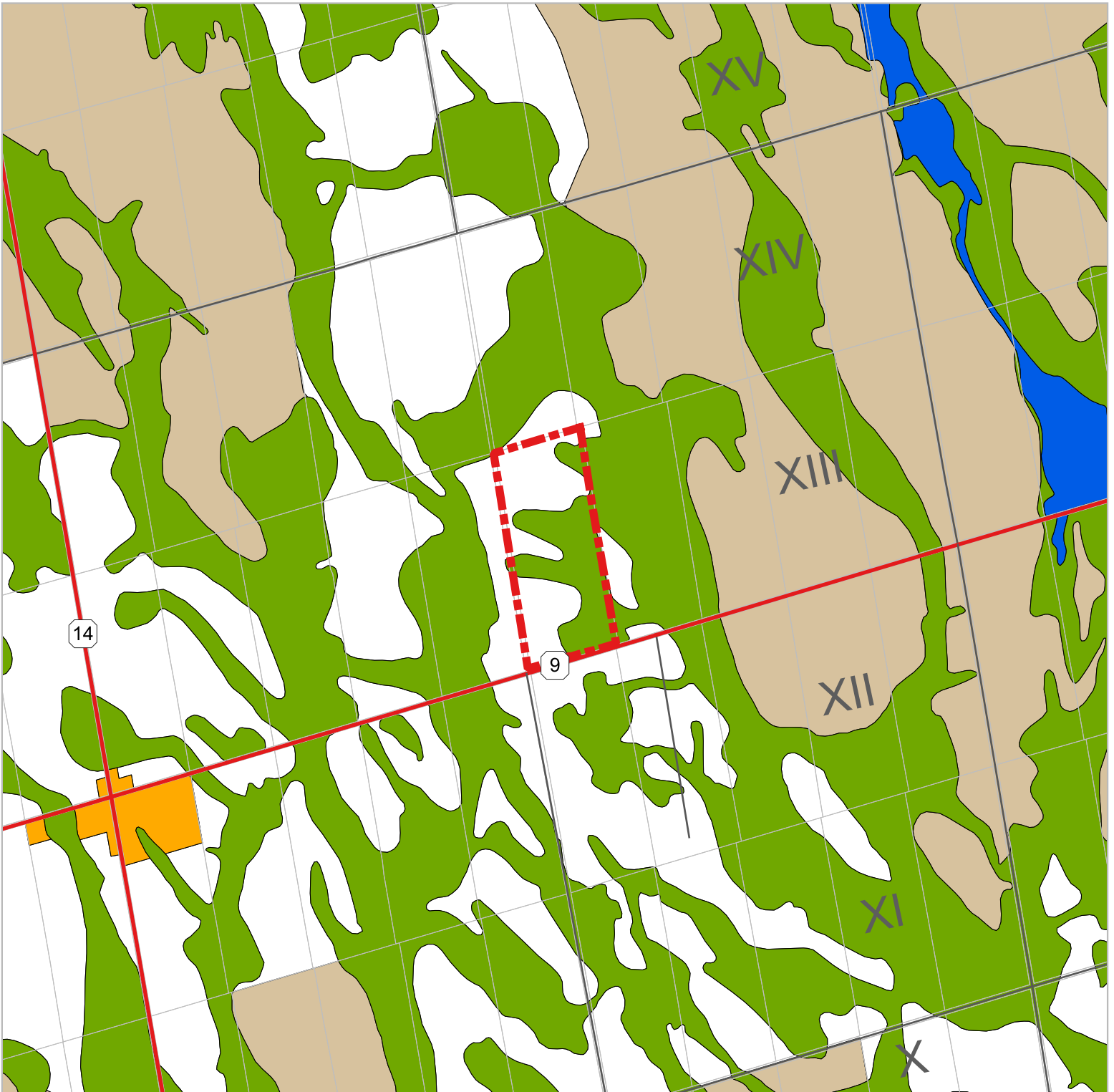
The Zoning By-law does not provide any other regulations for on-farm diversified uses.

The proposed development will require amending the A1-530 zone as follows:

- Increase the area of the A1-530 zone. Currently, the A1-530 zone applies to an area of 7,998m<sup>2</sup>, whereas the proposal is to increase the area to 9,300m<sup>2</sup>
- Revise regulation (b), which requires the maximum area of the buildings to be 750m<sup>2</sup>. The proposal seeks to increase this to 1,123m<sup>2</sup>
- Revise regulation (c), which requires the maximum outdoor storage area to be 500m<sup>2</sup>. The proposal seeks to increase the outdoor storage area to 2,500m<sup>2</sup>

All other regulations of the A1-530 zone will remain and will be carried forward. A draft by-law for the amendment is provided in Appendix A with the schedule seen on **Figure 8**.









The proposed amendment will not remove lands from agricultural use and the increase in area will support the continued viability of the property. There will be no changes to the land use or any significant alterations to the property. The increased size will allow greater flexibility for the use and ensure materials can be safely stored on-site. Given the foregoing, we are of the opinion that the proposed Zoning By-law amendment for the on-farm diversified use is appropriate and conforms with the County and Township Official Plans.



**Figure 3**  
**The County of Grey**  
**Official Plan**  
**Schedule A: Land**  
**Use Types Map 2**

**185673 Grey Road 9**  
 Township of Southgate  
 Grey County

**LEGEND**

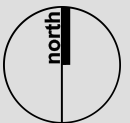
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-  County Road
-  Local Road
-  Agricultural
-  Rural
-  Secondary Settlement Area
-  Hazardous Lands
-  Provincially Significant Wetlands

**Date:** December 2024

**Scale:** 1:25,000

**File:** 2350B

**Drawn:** PL

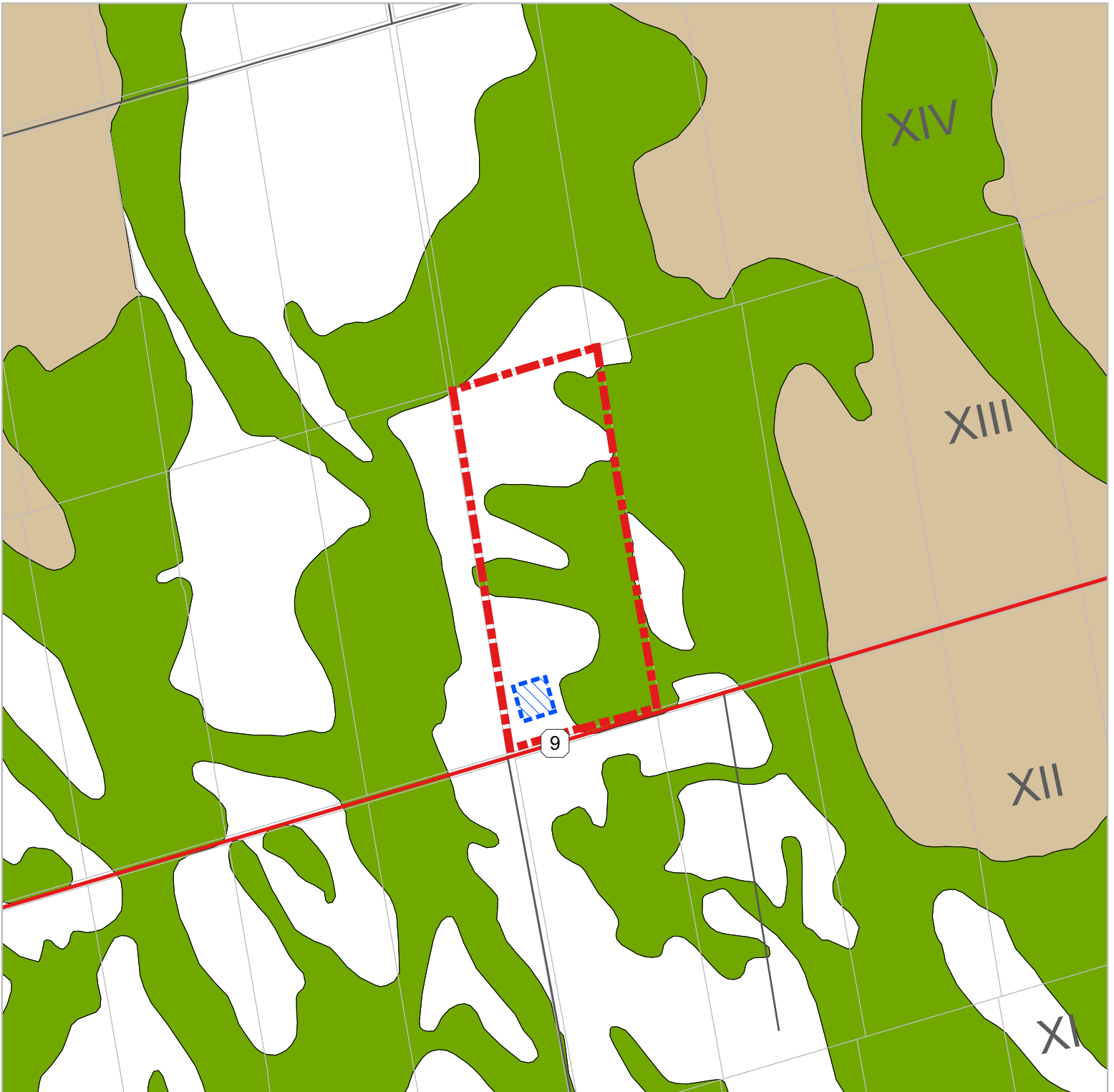


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 ARCHITECTURE**






200-540 BINGEMANS CENTRE DRIVE, KITCHENER, ON, N2B 3X9 | P: 519.576.3650 | WWW.MHBCPLAN.COM



**Figure 4**  
**The County of Grey**  
**Official Plan**  
**Amendment**

**185673 Grey Road 9**  
 Township of Southgate  
 Grey County

**LEGEND**

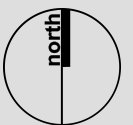
-  Subject Lands
-  Lands to be redesignated to Rural with Site Specific Policy Area
-  Agricultural
-  Rural
-  Hazard Lands

**Date:** January 2025

**Scale:** 1:15,000

**File:** 2350B

**Drawn:** PL



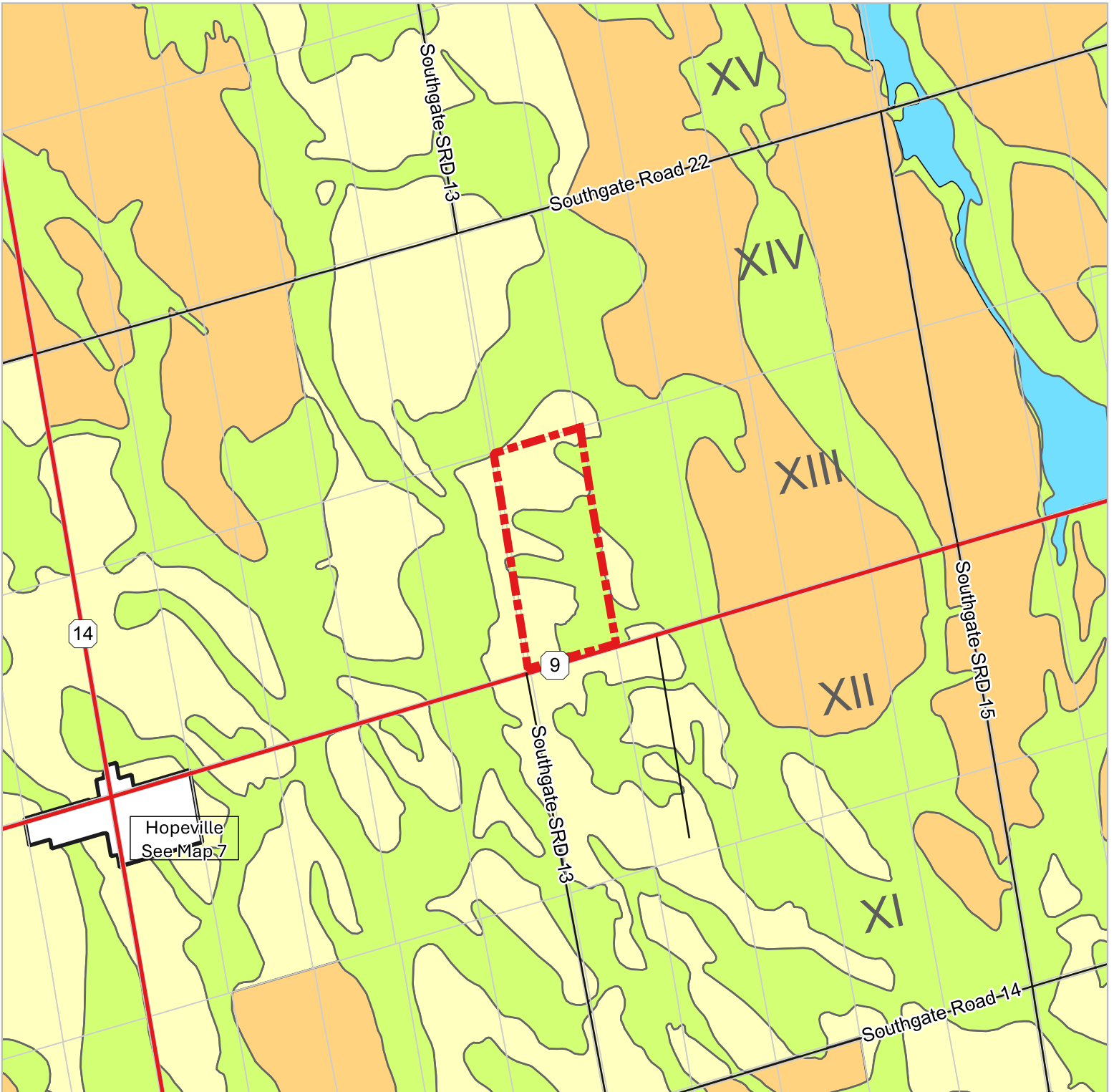
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**Figure 5**  
**The Township of Southgate Official Plan Schedule 'A'**  
**Map1: Land Use**

**LEGEND**

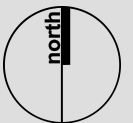
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-  Agricultural
-  Rural
-  Hazard Lands
-  Provincially Significant Wetlands

**Date:** January 2025

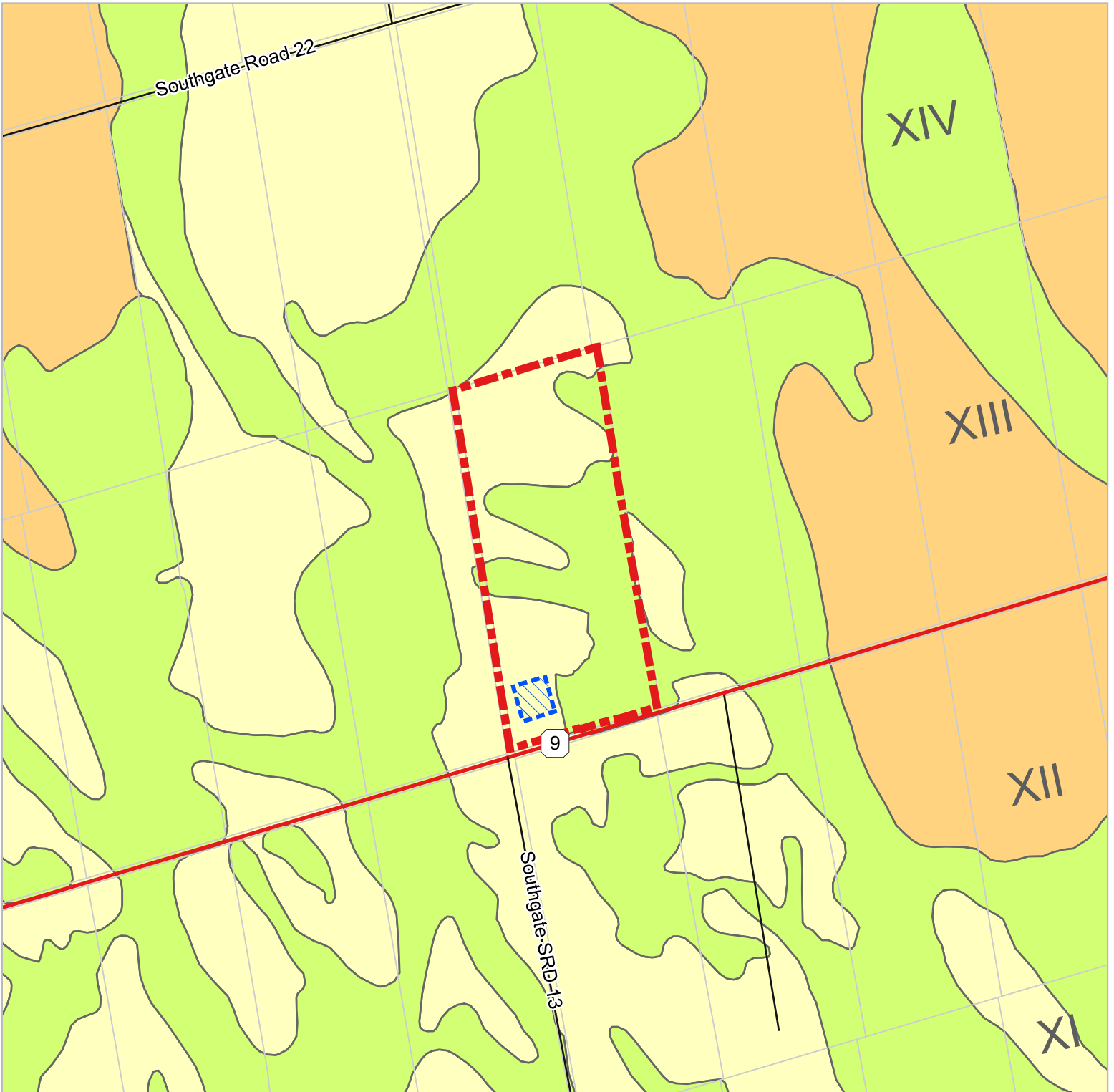
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**Figure 6**  
**The Township of Southgate Official Plan Amendment**

**LEGEND**

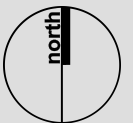
-  Subject Lands
-  Lands to be redesignated to Rural with Special Policy
-  Agricultural
-  Rural
-  Hazard Lands

**Date:** January 2025

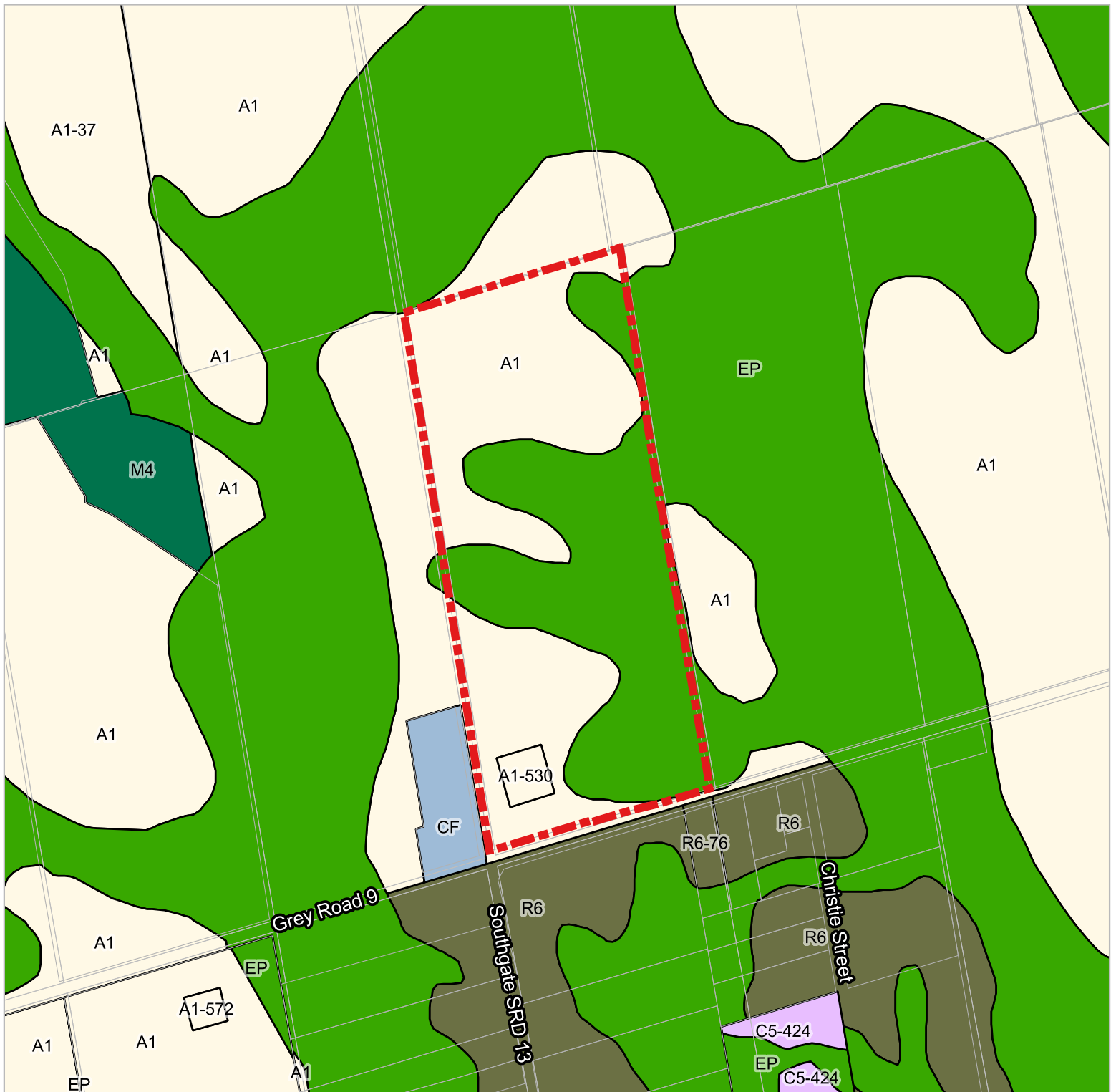
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





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**Figure 7**  
**The Township of Southgate Zoning By-Law 19-2002**

**185673 Grey Road 9**  
 Township of Southgate  
 Grey County

**LEGEND**

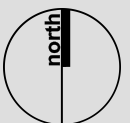
-  Subject Lands
-  A1 Agricultural
-  C5 Recreational Commercial
-  CF Community Facility
-  EP Environmental Protection
-  M4 Extractive Industrial
-  R6 Residential Type 6

**Date:** December 2024

**Scale:** 1:10,000

**File:** 2350B

**Drawn:** PL



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 URBAN DESIGN  
 & LANDSCAPE  
 ARCHITECTURE**







200-540 BINGEMANS CENTRE DRIVE, KITCHENER, ON, N2B 3Y9 | P: 519.576.3650 | WWW.MHBCPLAN.COM





**Figure 8**  
**Proposed Zoning**  
**By-Law Amendment**

**LEGEND**

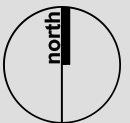
-  Subject Lands
-  Lands to be rezoned to A1-530 (A=9,300m<sup>2</sup>)
-  A1     Agricultural
-  CF     Community Facility
-  EP     Environmental Protection
-  R6     Residential Type 6

**Date:** January 2025

**Scale:** 1:6,000

**File:** 2350B

**Drawn:** PL



K:\2350B 185673 Grey Road 9, Township of Southgate\RPTR\Report Figures.gqx

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# 4.0 Summary and Conclusions

MHBC has prepared this Planning Justification Report in support of the Official Plan and Zoning By-law Amendments. The proposed development and proposed amendments have been assessed against the relevant planning framework, including provincial, county and local planning policies. This Report concludes that the proposal represents good planning for the following reasons:

- The proposal is consistent with the Provincial Planning Statement. The on-farm diversified use provides an opportunity to diversify the primarily agricultural economic base of the Municipality, it will protect the rural character of the area and will not interfere with the principal agricultural use of the property.
- The proposal meets the policies of the County Official Plan. The expanded area of the on-farm diversified use will continue to support the economic vision and principles of the County Official Plan by supporting and growing the rural economy. The use will continue to operate secondary to the existing agricultural operation of the property and will ensure that no agricultural lands will be impacted as a result.
- The lands are Rural in both the County and Township Official Plans. The Rural land use designation permits contractors yards on Rural lands. The proposal is to increase the storage area of the existing use, which will essentially operate as a storage yard. The proposal is not only maintaining an existing use, but may also be considered appropriate under the use as a yard.
- The proposal is in general conformity with the Zoning By-law. The proposed use is permitted on the subject property and will not introduce a land use that does not already exist in the Municipality.
- The proposed amendment will maintain that the agricultural use of the property continues to be the primary use of the property. The additional space will support the continued success of the on-farm diversified use, which will also support the agricultural operations of the property.

Based on these conclusions, it is our opinion that the applications for County Official Plan, Township Official Plan and Zoning By-law amendments are appropriate and should be considered for approval.

Respectfully submitted,

**MHBC**



Pierre Chauvin, BSc(Agr), MA, MCIP, RPP  
Partner



Gillian Smith, MSc, MCIP, RPP  
Senior Planner

**We certify that this report was prepared jointly by the identified authors and under the supervision of a Registered Professional Planner (RPP) within the meaning of the Ontario Professional Planners Institute Act, 1994.**

# A

## Appendix A: Draft By-law

The Corporation of the Township of Southgate  
By-law Number 2025-0xx

**Being a By-law to amend Zoning By-law No. 19-2002, of the Township of Southgate**

**Whereas** the Council of the Corporation of the Township of Southgate deems it necessary to pass a by-law to amend Zoning By-law No. 19-2002; and

**Whereas** pursuant to the provisions of Section 34 of the Planning Act, R.S.O. 1990, as amended, by-laws may be amended by Councils of municipalities.

**Now therefore be it resolved that** the Council of the Corporation of the Township of Southgate enacts as follows:

1. Schedule "x" to Zoning By-law No. 19-2002 is hereby amended by changing the zoning regulations on a portion of the lands described as Part Lot 18 Concession 13, in the Township of Southgate and shown on Schedule "A", affixed hereto, in the Agricultural -1 Exception Zone (A1-530).
2. That By-law No. 19-2002 is hereby amended by changing the following regulations of Section 33-525:  
33.530
  - a) The use shall remain secondary to the principle use of the property, being an agricultural use
  - b) The maximum size of the on-farm diversified use shall be 9,300m<sup>2</sup>
  - c) The maximum combined building footprint of the on-farm diversified use shall be 1,123m<sup>2</sup>
  - d) The maximum size of all outdoor storage of the on-farm diversified use shall be 1805m<sup>2</sup>
  - e) All outside storage shall be screened from view by way of fencing or landscaped buffer
  - f) The shop shall be setback a minimum of 75m from the front lot line along Grey Rd 9
  - g) The shop shall be setback a minimum of 93m from a side lot line
  - h) A Saw mill use remains a prohibited use
3. Schedule "A" and all other notations thereon are hereby declared to form part of this by-law
4. This by-law shall come into force and take effect upon being passed by Council subject to any approval necessary pursuant to the Planning Act R.S.O. 1990, as amended.

**Read** a first, second, and third time and finally passed this x day of x 2025.

---

Brian Milne – Mayor

---

Lindsey Green – Clerk



**From:** [Cassandra Dillman](#)  
**To:** [Elisha Milne](#)  
**Subject:** FW: [External] Notice of Complete Applications and Public Meeting - Amended - Ridgeview Lumber  
**Date:** March 19, 2025 8:37:59 AM

---

**Cassandra Dillman, BES, MSc. (She/Her)**  
*Intermediate Planner*  
Phone: +1-548-877-0853



---

**From:** Municipal Planning <MunicipalPlanning@enbridge.com>  
**Sent:** March 14, 2025 3:52 PM  
**To:** Group: Planning Dept Emails <planning@grey.ca>  
**Subject:** RE: [External] Notice of Complete Applications and Public Meeting - Amended - Ridgeview Lumber

[EXTERNAL EMAIL]

---

Thank you for your circulation.

Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.

Please always call before you dig, see web link for additional details:  
<https://www.enbridgegas.com/safety/digging-safety-for-contractors>

Please continue to forward all municipal circulations and clearance letter requests electronically to  
[MunicipalPlanning@Enbridge.com](mailto:MunicipalPlanning@Enbridge.com).

Regards,

**Willie Cornelio** CET (he/him)  
Sr Analyst, Municipal Planning  
**Engineering**

**ENBRIDGE**  
TEL: 416-495-6411  
500 Consumers Rd, North York, ON M2J1P8

**From:** [planning@grey.ca](mailto:planning@grey.ca) <[planning@grey.ca](mailto:planning@grey.ca)>

**Sent:** Wednesday, March 12, 2025 9:40 AM

**To:** Municipal Planning <[MunicipalPlanning@enbridge.com](mailto:MunicipalPlanning@enbridge.com)>; Ontario Lands <[ONTLands@enbridge.com](mailto:ONTLands@enbridge.com)>

**Subject:** [External] Notice of Complete Applications and Public Meeting - Amended - Ridgeview Lumber

**CAUTION! EXTERNAL SENDER**

Were you expecting this email? TAKE A CLOSER LOOK. Is the sender legitimate?

DO NOT click links or open attachments unless you are 100% sure that the email is safe.

## Notice of Complete Applications and Public Meeting - Amended - Ridgeview Lumber



Dear Enbridge Gas,

Please see the link below for the AMEDNDED Notice of Complete Applications and Public Meeting for Ridgeview Lumber Inc. (County file number 42-07-090-OPA-26; Township file numbers OPA 2-25 and C6-25). Please note that the notice previously circulated indicated that the proposed building was 'covered, open air storage'; the proposed storage building is enclosed. Staff are circulating an amended notice for clarity purposes. The purpose of the applications and nature of the relief requested remains unchanged.

[AMENDED Notice of Complete Application and Public Meeting\\_2025 Mar 12](#)

All materials are available for viewing and can be downloaded online at the following links:

Grey County Website: <https://www.grey.ca/government/land-use-planning/planning-and-development-projects/ridgeview-lumber-opa>

Township of Southgate Website: <https://www.southgate.ca/municipal-services/planning-and-land-use/planning-applications-and-public-notices/>

Please note, a paper copy will not be provided unless requested.

Thank you and please let me know in case of any questions or concerns.

Regards,

Cassandra





**From:** [Cassandra Dillman](#)  
**To:** [Elisha Milne](#)  
**Subject:** FW: Request for Comments - Township of Southgate (Ridgeview Lumber) - Proposed County Official Plan Amendment, Local Official Plan Amendment, and Zoning By-law Amendment  
**Date:** March 19, 2025 8:33:45 AM  
**Attachments:** [PastedGraphic-5.png](#)

---

**Cassandra Dillman, BES, MSc. (She/Her)**  
*Intermediate Planner*  
Phone: +1-548-877-0853



---

**From:** hsmlrcc <hsmlrcc@bmts.com>  
**Sent:** March 18, 2025 12:18 PM  
**To:** Cassandra Dillman <cassandra.dillman@grey.ca>; Victoria Mance <vmance@southgate.ca>  
**Subject:** Re: Request for Comments - Township of Southgate (Ridgeview Lumber) - Proposed County Official Plan Amendment, Local Official Plan Amendment, and Zoning By-law Amendment

You don't often get email from [hsmlrcc@bmts.com](mailto:hsmlrcc@bmts.com). [Learn why this is important](#)

[EXTERNAL EMAIL]

---

## Township of Southgate

### **Re: File number 42-07-090-OPA-26, OPA 2-25, C6-25**

The Historic Saugeen Métis (HSM) Lands, Waters and Consultation Department has reviewed the relevant documents and has no objections to the proposed County Official Plan Amendment, Local Official Plan Amendment, and Zoning By-law Amendment as presented.

Thank you for the opportunity to review this matter.

Regards,

Neala

Neala MacLeod Farley  
Coordinator, Lands, Waters & Consultation

Historic Saugeen Métis

204 High Street  
Southampton, ON  
saugeenmetis.com  
519-483-4000



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**Township of Southgate**

185667 Grey County Road 9,  
Dundalk, ON N0C 1B0

**John Watson,**  
**Acting Public Works Manager**  
**jwatson@southgate.ca**



**Phone:** 519-923-2110 ext. 250

**Toll Free:** 1-888-560-6607

**Fax:** 519-923-9262

**Cell:** 519-373-7844

**Public Works Department**

Date: March 12, 2025

File No.: C6-OPA2-25

Can a safe access be provided? Yes  No

Road Drainage Concern: None

Road Standard: Grey County jurisdiction

Road Widening Necessary? Yes  No

Entrance Requirements: Grey County jurisdiction

Load Restricted Road: Yes  No

Comments: \_\_\_\_\_

Signed: \_\_\_\_\_



John Watson, Acting Public Works Manager

**From:** [Karen Gillan](#)  
**To:** [planning@grey.ca](mailto:planning@grey.ca); [Southgate Planning](#); [Lindsey Green](#); [Elisha Milne](#)  
**Cc:** [RMO Mailbox](#)  
**Subject:** RE: Notice of Complete Application and Public Meeting - Ridgeview Lumber Inc.  
**Date:** March 5, 2025 10:47:40 AM

---

Good morning,

Please note that this property is not located in a vulnerable source protection area where policies under the local Source Protection Plan apply, therefore we have no comments on this application under the Clean Water Act.

Regards,

**Karen Gillan**

Program Supervisor/Risk Management Inspector

519.376.3076 Ext. 205  
237897 Inglis Falls Road  
Owen Sound, ON N4K 5N6  
[www.greysauble.on.ca](http://www.greysauble.on.ca)



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*Please note that my working day may not be your working day. Please don't feel obligated to reply to this email outside of your working hours.*

---

**From:** [planning@grey.ca](mailto:planning@grey.ca) <[planning@grey.ca](mailto:planning@grey.ca)>  
**Sent:** March 5, 2025 10:29 AM  
**To:** [planning@southgate.ca](mailto:planning@southgate.ca); [lgreen@southgate.ca](mailto:lgreen@southgate.ca); [emilne@southgate.ca](mailto:emilne@southgate.ca); [RMO Mailbox](#) <[rmo@greysauble.on.ca](mailto:rmo@greysauble.on.ca)>  
**Subject:** Notice of Complete Application and Public Meeting - Ridgeview Lumber Inc.

**Notice of Complete Application and  
Public Meeting - Ridgeview Lumber  
Inc.**



Hello Southgate,

Please see the link(s) below for a Notice of Complete Application and Public Meeting for a proposed amendment to the Grey County Official Plan (OPA 26), Southgate Official Plan (OPA 2-25) and Southgate Zoning By-Law (C6-25). A public meeting has been scheduled to discuss the three applications concurrently on March 26, 2026.

We would appreciate receiving any comments on these files by **March 25, 2025**. Please email comments to [cassandra.dillman@grey.ca](mailto:cassandra.dillman@grey.ca) and [vmance@southgate.ca](mailto:vmance@southgate.ca).

**Memo:** [Request for Comments Memo\\_Ridgeview Lumber\\_2025 Mar 5.pdf](#)

**Notice of Complete Application and Public Meeting:** [Notice of Complete Application and Public Meeting\\_2025 Mar 5](#)

**Draft Official Plan Amendment:** [Draft By-Law and OPA 26\\_Ridgeview Lumber\\_2025 Mar](#)

All materials are available for viewing and can be downloaded online at the following links:

- Grey County Website: <https://www.grey.ca/government/land-use-planning/planning-and-development-projects/ridgeview-lumber-opa>
- Township of Southgate Website: <https://www.southgate.ca/municipal-services/planning-and-land-use/planning-applications-and-public-notices/>

Please note, a paper copy will not be provided unless requested.

Thank you and please let me know in case of any questions or concerns.

Regards,

Cassandra

SENT ELECTRONICALLY ONLY: [emilne@southgate.ca](mailto:emilne@southgate.ca) and [cassandra.dillman@grey.ca](mailto:cassandra.dillman@grey.ca)

March 19, 2025

Township of Southgate  
185667 Grey Road 9  
RR 1  
Dundalk, Ontario  
NOC 1B0

ATTENTION: Elisha Milne, Legislative and Planning Coordinator

Dear Elisha Milne,

RE: Zoning By-law Amendment C6-25, Southgate Official Plan Amendment OPA2-25, and Grey County Official Plan Amendment OPA26 (Ridgeview Lumber)  
185673 Grey Road 9  
Roll No.: 420709000215100  
Lot 18 Concession 13  
Geographic Township of Proton  
Township of Southgate

The above-noted applications have been received by the Saugeen Valley Conservation Authority (SVCA) in accordance with the Mandatory Programs and Services Regulation (Ontario Regulation 686/21) made under the *Conservation Authorities Act* (CA Act). SVCA staff have reviewed the proposal for consistency with SVCA's environmental planning and regulation policies ([https://www.saugeenconservation.ca/en/permits-and-planning/resources/Environmental-Regulations/January-2019-Consolidated-Manual\\_Interim.pdf](https://www.saugeenconservation.ca/en/permits-and-planning/resources/Environmental-Regulations/January-2019-Consolidated-Manual_Interim.pdf)) made in conformance with the Provincial Planning Statement, CA Act, O. Regulation 41/24, and associated provincial guidelines. Where a Memorandum of Agreement (MOA) exists between a planning partner and the SVCA, staff have reviewed the application for conformity with the natural hazard policies of the applicable Municipality or County.

### **Purpose**

The purpose of the applications are to permit the expansion of an existing On-farm Diversified Use (lumber yard), including an outdoor storage area (total of 1805 m<sup>2</sup>) and proposed covered, open-air storage building (373 m<sup>2</sup>).

## **Recommendation**

The proposed applications are generally acceptable to SVCA staff.

## **Documents Reviewed by Staff**

Staff have received and reviewed the following documents submitted with this application:

- 1) County Official Plan Amendment Application form, dated January 2025;
- 2) Cover Letter, dated January 22, 2025;
- 3) Planning Justification Report, dated January 20, 2025;
- 4) Site Plan, revision 3, dated February 22, 2025;
- 5) Amended - Notice of Complete Applications and Public Meeting, dated March 12, 2025;
- 6) Township Application for Official Plan and Zoning By-law Amendment, dated January, 2025.

## **Background**

Regarding this property, SVCA staff had previously conducted a site inspection in 2021, and had reviewed and provided comments to planning applications: A4-21, C8-22; and SVCA had issued SVCA permit 21-147 for filling and grading, and SVCA permit 21-189 for installation of systematic tile drainage.

## **Site Characteristics**

Current SVCA mapping shows that areas of the property are within the SVCA's Screening Area. The natural hazard features affecting the southern portion of the property include wetland/swamps and any floodplain of the wetland/swamps, and the headwaters of a watercourse that is located within the wetlands/swamps.

Areas of the property are mapped as Hazard Lands in the Grey County OP and Township of Southgate OP, and zoned EP in the Township of Southgate Zoning By-law. As part of these applications, SVCA recommend that that the Hazard Land Area designation and EP zone could be revised slightly, to be made smaller, to best represent site conditions in the southern portion of the property. Please find attached SVCA mapping, showing SVCA's recommended EP zone or Hazard Land Area designation.

Based on the plans submitted with the application, the existing and proposed areas to be rezoned for OFDU (on-farm diversified use) will not be within the recommended EP zone or Hazard Land Area designation.

## **Provincial Planning Statement (PPS, 2024)**

In accordance with s. 7 of O. Regulation 686/21, SVCA shall act on behalf of the Province or as a public body under the *Planning Act* (PA) to ensure municipal decisions made under the PA are consistent with the natural hazards policies of the PPS, Chapter 5.

Chapter 5.1 and 5.2 of the PPS, 2024 states in part that development shall be directed away from areas of natural or human-made hazards where there is an unacceptable risk to ...and not create new or aggravate existing hazards.

It is the opinion of the SVCA that the proposal is consistent with Chapter 5.1 and 5.2 of the PPS, 2024.



## **Township of Southgate and County of Grey Official Plan Policies**

The following comments are made in accordance with MOU with the Township of Southgate. As mentioned above, areas of the property are mapped as Hazard Lands in the Grey County OP and Township of Southgate OP, and zoned EP in the Township of Southgate Zoning By-law. As part of these applications, SVCA recommend that that the Hazard Land Area designation and EP zone could be revised slightly, to be made smaller, to best represent site conditions in the southern portion of the property. Please find attached SVCA mapping, showing SVCA's recommended EP zone or Hazard Land Area designation.

Based on the plans submitted with the application, the existing and proposed areas to be rezoned for OFDU (on-farm diversified use) will not be within the recommended EP zone or Hazard Land Area designation.

Section 5.5.2 of the Southgate OP and Section 7.2.3 of the Grey County OP state in part that buildings and structures are generally not permitted in the Hazard Lands land use type. Based on the plan submitted with the proposal, the proposal would be consistent with the Southgate OP and Grey County OP.

## **Conservation Authorities Act and O. Regulation 41/24**

Within SVCA's regulated areas and in accordance with the CA Act and O. Regulation 41/24, a permit from the SVCA is required to change or interfere with watercourses or wetlands and for development activities in or adjacent to hazardous lands, wetlands, river or stream valleys, Great Lakes and inland lake shorelines. When reviewing an application, SVCA staff must assess the proposal for impacts to the control of flooding, erosion, dynamic beaches, or unstable soil or bedrock, and ensure the activity will not create conditions or circumstances that, in the event of a natural hazard, might jeopardize the health or safety of persons or result in the damage or destruction of property. Provided staff are satisfied the proposal is consistent with SVCA's policies, designed to mitigate these risks, a permit can be issued.

To determine the SVCA Approximate Regulated Area on the property, please refer to the SVCA's online mapping, available via SVCA's website

<https://camaps.maps.arcgis.com/apps/webappviewer/index.html?id=f0ec744c8d6d4e499895aaaab3d83761>.) Should you require assistance, please contact our office directly.

### **SVCA Permit**

Based on the plan submitted with the applications, the area to be rezoned will not be located within the SVCA Approximate Screening Area, therefore a permit from the SVCA is not required for the buildings or structures as proposed.

### **Drinking Water Source Protection**

The subject property appears to SVCA staff to not be located within an area that is subject to the local Drinking Water Source Protection Plan.

### **Summary**

SVCA staff have reviewed the proposal for consistency with SVCA's policies made in conformance with the Provincial Planning Statement, CA Act, O. Regulation 41/24, and associated provincial guidelines.

March 19, 2025

Page 4 of 4

Where a Memorandum of Agreement (MOA) exists between a planning partner and the SVCA, staff have reviewed the application for conformity with the natural hazard policies of the applicable Municipality or County.

Given the above comments, it is the opinion of the SVCA staff that:

- 1) Consistency with the Natural Hazard policies of the PPS, Chapter 5 has been demonstrated.
- 2) Consistency with local planning policies for natural hazards has been demonstrated.

Please inform this office of any decision made by the planning approval authority regarding these applications. We respectfully request to receive a copy of the decisions and notice of any appeals filed.

Should you have any questions, or require this information in an accessible format, please contact the undersigned.

Sincerely,

Michael Oberle  
Environmental Planning Technician  
Saugeen Conservation  
MO/  
Enclosure: SVCA map

cc: Ridgeview Lumber Inc., owner (via email)  
MHBC Planning Ltd., applicants/agent (via email)  
Barbara Dobreen, Authority Member, SVCA (via email)



C6-25, OPA2-25, OPA26

SVCA recommended  
EP zone  
2020 air photo

Lot 19  
Con 13  
Proton

Lot 18  
Con 13  
Proton

**Legend**

-  Hazard Land/ SVCA recommended EP zone
-  Parcel Fabric



UTM Zone 17N, NAD 83

1:4000

The included mapping has been compiled from various sources and is for information purposes only. Saugeen Valley Conservation Authority (SVCA) is not responsible for, and cannot guarantee, the accuracy of all the information contained within the map.

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This mapping contains products of the South Western Ontario Orthophotography Project 2020 (SWOOP2020). These images were taken in 2020 at 16cm resolution by Mapcon Mapping Ltd. They are the property of Saugeen Valley Conservation Authority ©2021.



March 17, 2025

Grey Rd 9

93

# **Proposed County Official Plan Amendment File: 42-07-090-OPA-26 Ridgeview Lumber, Southgate**

Public Meeting – March 26, 2025

By: Cassondra Dillman, Intermediate Planner



## Confirmation of Public Notice

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## The Development Review Process

---

## Application Summary

---

## Comments Received



---

## Communications

Public Meeting

- An opportunity to learn more about the proposed development
- Ask questions or make statements either in favour of or in opposition to the proposed development
- By law, a municipality must hold a public meeting for the proposed Official Plan Amendment(s) and Zoning By-law Amendment

- Notice of Complete Applications and Public Meeting was circulated on March 5, 2025 by mail to properties within 120 metres of the subject property and by posting a notice on the property
- An amended notice was also circulated on March 12, 2025 with additional clarification




**NOTICE OF COMPLETE APPLICATIONS AND PUBLIC MEETING**

**What:** The County and Township are seeking input on development applications within 120 metres of your property. The proposed applications consider the expansion of an existing On-farm Diversified Use (lumber yard). More details about the applications are provided below.

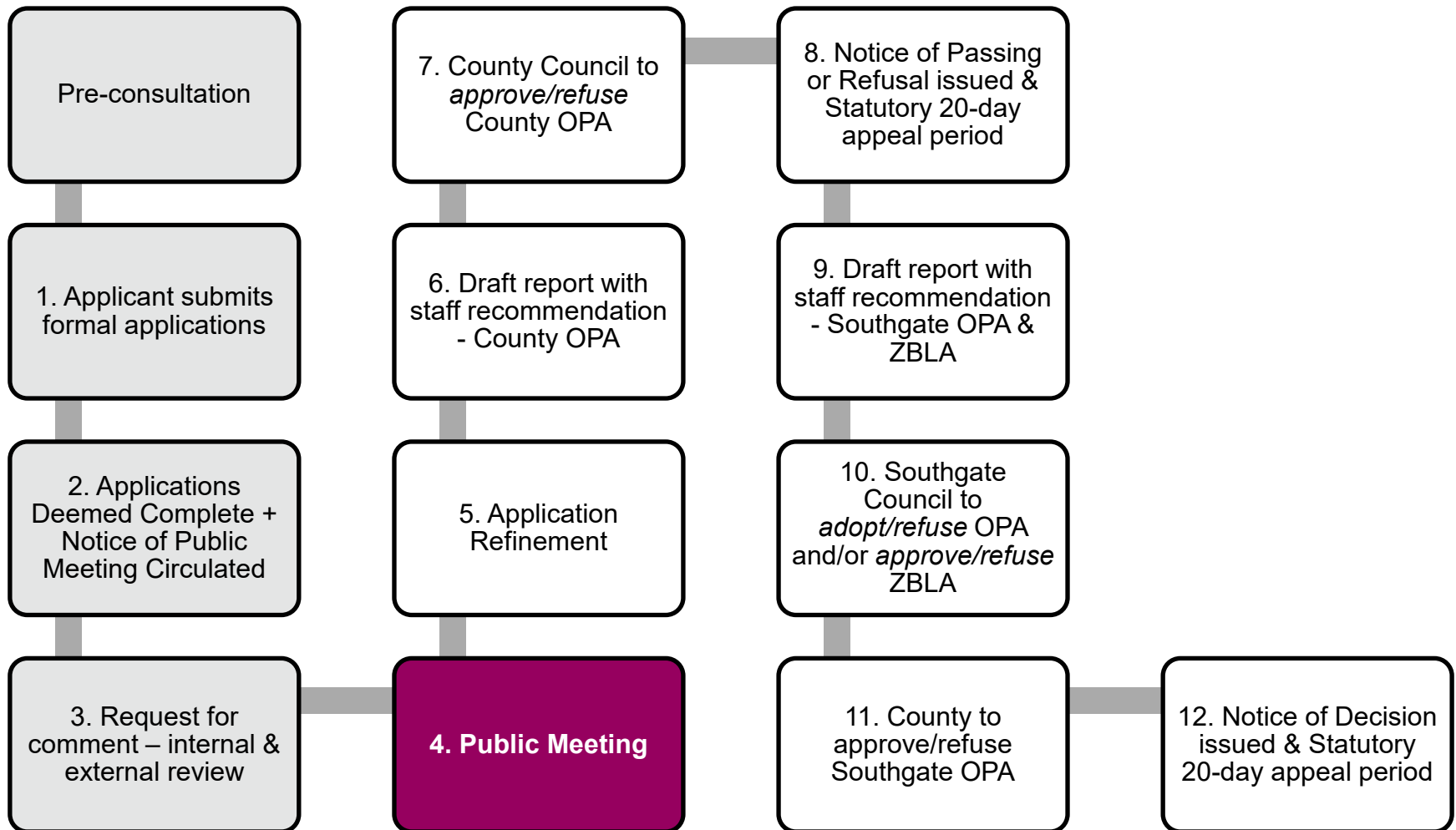
**Site:** 185673 Grey Road 9 (Lot 18, Concession 13, geographic Township of Proton, now in the Township of Southgate). The subject lands are approximately 41.8 hectares.

**Map of Subject Lands:**

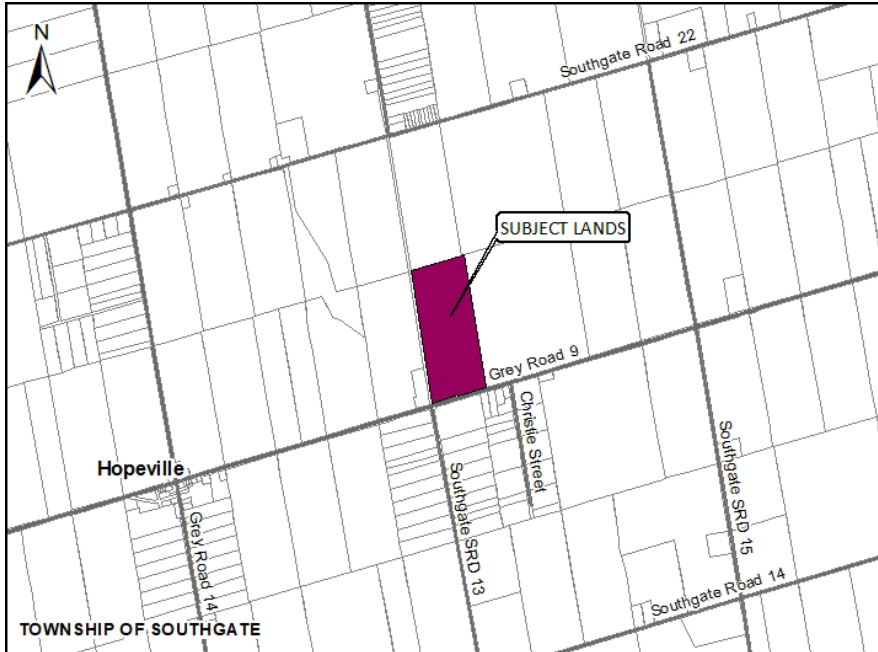


**Public Meeting Date: Wednesday, March 26, 2025, at 10:30am**

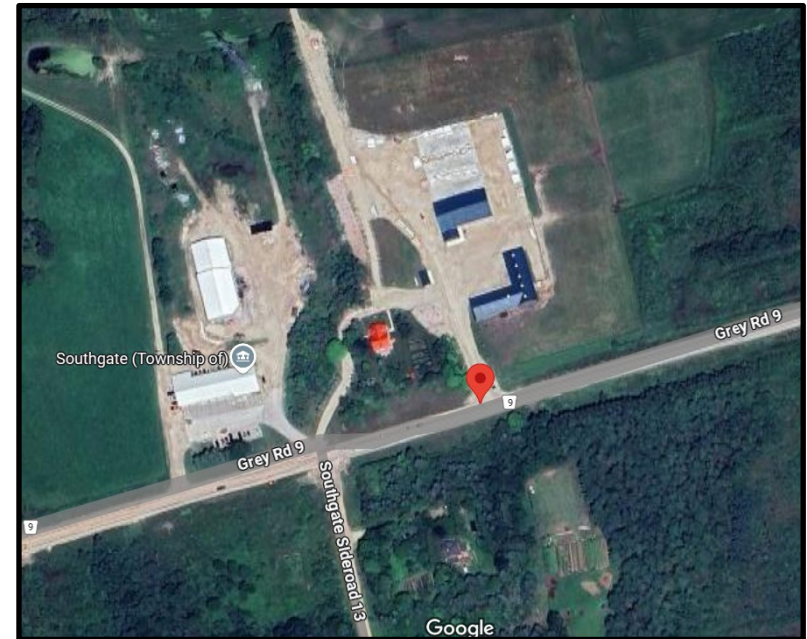
# Development Review Process - Summary



## Subject Lands



## Aerial Image





<b>Municipal Location:</b>	185673 Grey Road 9
<b>Area:</b>	41.8 ha (103 acres)
<b>Agent:</b>	Gillian Smith, MHBC Planning
<b>What is being proposed?</b>	<ul style="list-style-type: none"><li>• An expansion of an existing On-farm Diversified Use (lumber yard), including larger outdoor storage area and new storage building</li></ul>

## Official Plan Designation

Rural (white) and Hazard Lands (green)



## Proposed Amendment

Rural, Rural – Site Specific, and Hazard Lands



OFDU Criteria	Permitted	Proposed
Rural land use, property >20ha		
Maximum Size (including all buildings, laneways, parking, outdoor storage areas, etc.)	8000 m <sup>2</sup> or 2% of 40 ha	<b>9300 m<sup>2</sup></b> or ~2.25% of 41.8 ha
Maximum Gross Floor Area (of all buildings)	1600 m <sup>2</sup>	1132 m <sup>2</sup>

**Proposed Site-Specific Exception:** *An expansion of the existing on-farm diversified use (lumber yard) shall be permitted. The on-farm diversified use shall not exceed 2.25% of the total size of the property or to exceed a maximum combined area of the use of 9,300 square metres in size.*



	Existing Development	Proposed	Total
Buildings	750 m <sup>2</sup> (workshop, power room)	<b>373 m<sup>2</sup></b> (covered storage)	1123 m <sup>2</sup>
Outdoor Storage	500 m <sup>2</sup>	<b>1305 m<sup>2</sup></b>	1805 m <sup>2</sup>

- A proposed Local Official Plan Amendment application and Zoning By-law Amendment Application are required to increase the maximum zoned area (to 9300 m<sup>2</sup>), to increase the building footprint (to 1123 m<sup>2</sup>) and enlarge the outdoor storage area (to 1305 m<sup>2</sup>)

## Agency Comments

- Risk Management Official, GSCA
- Saugeen Valley Conservation Authority
- Historic Saugeen Métis
- Enbridge Gas
- Township of Southgate Public Works Department

## Public Comments

- None

1. Information about the proposed development is posted on the County website:

<https://www.grey.ca/government/land-use-planning/planning-and-development-projects/ridgeview-lumber-opa>

2. Request to be notified of a decision by contacting staff.
3. Additional comments or questions can be sent to:



**Cassandra Dillman**

County of Grey Planning Department  
595 9<sup>th</sup> Avenue East  
Owen Sound, ON, N4K 3E3



[cassandra.dillman@grey.ca](mailto:cassandra.dillman@grey.ca)



548-877-0853



The corporation of  
The Township of Southgate

Application for Planning Amendment  
Official Plan and Zoning By-law

**\*\* Pre-consultation is required with the Township before any zoning or official plan amendment applications will be accepted (By-law 66-2012)\*\***

**Instructions:**

- Please check all applicable boxes and answer all applicable questions.
- All measurements MUST be in metric units. (Imperial Units will not be accepted)
- Additional information may be attached if necessary.
- Incomplete applications will be returned.
- The Township reserves the right to ask for more information or clarification pertaining to this application at a later time.
- Further information is on the last two pages for your reference.
- Applications are not accepted without the required fees

<b>For office use only</b>
File no: _____
Pre-Consult Date: <u>Jan 20/25</u>
Date received: <u>Jan 31/25</u>
Date accepted: _____
Accepted by: _____
Roll # 42 07 <u>090 005 0490</u>
Conservation authority fee required: <u>SVCA</u>
Other information: _____
<u>AI-446, AI, EP</u>

Pursuant to one or more of the following Sections 22, 34, 36, and/or 39 of the *Planning Act*, as amended, I/we apply for: (check appropriate box)

<b>Pre- Consultation Fee</b>	<b>\$500.00</b>
<b>Amendment to the Official Plan</b>	Minor \$4,000.00 application fee <i>plus</i> \$4,000.00 contingency fee Major \$6,500.00 application fee <i>plus</i> \$6,000.00 contingency fee
<b>Amendment to the Zoning By-law</b>	\$2,900.00 application fee Major \$4,000.00 application fee <i>plus</i> \$5,000.00 contingency fee
<b>Removal of Holding Provision</b>	\$1,000.00 application fee or \$600.00 application fee (with related Site Plan Agreement)
<b>Temporary Use By-Law Amendment</b>	\$1,674.00 application fee <i>plus</i> \$400.00 agreement fee <i>plus</i> \$2,500.00 contingency fee
<b>Other Required Fees:</b>	
<b>Public Notice Sign Fee</b>	<b>\$145.00</b>
<b>Conservation Authority Fee</b>	<b>\$260.00</b> Saugeen Valley Conservation Grand River Conservation – Call directly for details
<b>County of Grey Municipal Review Fee</b>	<b>\$400.00</b>

\*Contingency fee required for all Official Plan Amendment applications

\*Contingency fee required only for Major Zoning By-law Amendment applications

**PAID**



**Note on fees:**

It is a requirement that any potential applicant pre-consult with the Planning Department prior to submitting any planning application. For the pre consultation meeting, please provide a drawing or a sketch of your proposal, accompanied by a written description.

The application fees were adopted and approved under the Township of Southgate's fees and charges By-law and will only be accepted once the application is deemed complete by the Township of Southgate Planning Department.

All required application fees shall be paid in cash or by cheque made payable to the Township of Southgate.

Contingency fees will be utilized to cover costs associated with this application when deemed necessary by the Township of Southgate, i.e. professional consultants and legal advice. Any portion of the contingency fee not used in connection with the review and completion of an application will be returned. The applicant further agrees to pay any additional costs and expenses beyond the initial contingency fee which shall be determined by staff of the Corporation of the Township of Southgate in the event that the amount of the initial contingency fee taken is insufficient.

Be advised that the applicant or a representative is expected to appear at any meetings (including the public meeting) to explain the proposal and answer any questions that may arise. Failure to do so may result in deferral of the application and increased costs.

**Part A**

**Owner/Agent/Application information**

\*To be completed by the applicant

1. Name of registered owner: Norman & Salome Martin - Dunside Inc.

Mailing address: [REDACTED]

Phone# : (H) [REDACTED] (B) [REDACTED]

Email Address: [REDACTED]

2. Name of applicant: \_\_\_\_\_

Mailing address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Email: \_\_\_\_\_

Applicant's Relationship to Subject Lands:

- Registered Property Owner
- Holder of Option to Purchase Subject Lands
- Signing Officer of Corporation
- Other [Specify] \_\_\_\_\_

3. Name of agent (if applicable) \_\_\_\_\_

Mailing address: Solomon Martin

Phone#: [REDACTED] Email: [REDACTED]

4. Send all correspondence to (choose only one):  Applicant  Agent

5. Preferred Method of communication:  Phone  email  Postal Mail

6. Name any mortgages, charges or encumbrances, in respect to the subject lands:

Mailing Address: \_\_\_\_\_

Phone#: \_\_\_\_\_

**Part B**  
**The subject lands**

7. Location of subject property (former municipality):

- Township of Egremont
- Township of Proton
- Village of Dundalk

Road/street and number: 752395 IDA STREET

Tax Roll#: 420709000504901

Lot pt lt 221 pt lt 222 Concession Con 2 SWTSR

Lot \_\_\_\_\_ of Plan \_\_\_\_\_

8. The date the subject land was acquired by the current owner: \_\_\_\_\_

9. Dimensions of subject property:

frontage 219 m depth 328 m area 10 ha sq m/ha

10. Description of the area affected by this application if only a portion of the entire property this proposal is to delete the rezone area A1-446 and move it to be

withing the building cluster where current home industry is

11. Abutting and nearby lands uses

(a) Interest in abutting lands - does the owner or applicant of the subject lands own or have a legal interest in any lands abutting the subject lands? Yes  No

If yes, describe to what extent \_\_\_\_\_

(b) Use of abutting and nearby lands - describe the present use on all properties abutting and opposite the subject lands.

North agriculture & RUR

East agriculture with OFDU

South RUR

West agriculture

(c) Agricultural livestock operations

if an existing livestock operation is located within 450 metres of the subject lands, prepare a sketch showing locations and approximate size of livestock barns (as per Additional Requirements 20. (b) request) and you must fill out Schedule "A".

12. Environmental Constraints

Indicate whether any of the following environmental constraints apply to the subject lands:

- |                                   |                                     |  |                          |
|-----------------------------------|-------------------------------------|--|--------------------------|
| Wetlands                          | <input type="checkbox"/>            | Specialty Crop Lands                             | <input type="checkbox"/> |
| Floodplains                       | <input type="checkbox"/>            | ANSI's (areas of natural or scientific interest) | <input type="checkbox"/> |
| Streams, Ravines and Lakes        | <input type="checkbox"/>            | Aggregate Resources                              | <input type="checkbox"/> |
| Water Resources                   | <input type="checkbox"/>            | Thin Overburden                                  | <input type="checkbox"/> |
| Wooded Areas & Forest Management  | <input checked="" type="checkbox"/> | Solid Waste Management                           | <input type="checkbox"/> |
| Fisheries, Wildlife & Environment | <input type="checkbox"/>            | Sewage Treatment Plant                           | <input type="checkbox"/> |
| Heritage Resources                | <input type="checkbox"/>            |  |                          |

13. Official Plan

Indicate the current Official Plan Designation:

- |                     |                          |                                       |                                     |
|---------------------|--------------------------|---------------------------------------|-------------------------------------|
| Neighbourhood Area  | <input type="checkbox"/> | Agriculture                           | <input type="checkbox"/>            |
| Downtown Commercial | <input type="checkbox"/> | Rural                                 | <input checked="" type="checkbox"/> |
| Arterial Commercial | <input type="checkbox"/> | Inland Lakes                          | <input type="checkbox"/>            |
| Industrial          | <input type="checkbox"/> | Space Extensive Industrial/Commercial | <input type="checkbox"/>            |
| Public Space        | <input type="checkbox"/> | Hazard Lands                          | <input checked="" type="checkbox"/> |
| Special Policy Area | <input type="checkbox"/> | Wetlands                              | <input type="checkbox"/>            |
| Major Open Space    | <input type="checkbox"/> | Mineral Aggregate Extraction          | <input type="checkbox"/>            |
| Village Community   | <input type="checkbox"/> |                                       |                                     |

14. Zoning By-law

Present zoning A1 , EP , A1-446

Requested zoning A1 , EP , A1-XXX to permit a small scale OFDU withing building cluster

15. Specific proposed use(s) of subject property that this amendment would authorize: (provide a sketch showing locations and approximate size for each building or structure)  
this would permit an 400m2 OFDU within the building cluster

**For Official Plan Amendment Applications Only:**

14.

16. Please answer the following about this proposed Official Plan Amendment:  
Does this application change or replace a designation in the Official Plan?  
Changes  Replaces

17. Is this application to implement an alteration to the boundary of an area of settlement or to implement a new area of settlement?  
Yes  No

If yes, please provide the details of the official plan or the official plan amendment that deals with this matter.

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18. Does this application propose to remove land from an area of employment?  
Yes  No

If yes, please provide the details of the official plan or official plan amendment that deals with this matter.

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19. Is the application being submitted in conjunction with a proposed County Official Plan Amendment? Yes  No

If yes, please provide the details of the official plan or official plan amendment that deals with this matter.

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Type of building/structure metal clad shop with peak roof attached to barn/shed

Setbacks:  
front lot line 77.24

rear lot line 187.47

side lot line 55.22

Building/structure:

height 7.52m dimensions / floor area 400m2

20. The date the existing building(s) or structure(s) on the subject land were constructed: 2022
21. The length of time that the existing uses of the subject land have continued: 2022
22. If proposed use is residential, indicate proximity of subject lands to community facilities (parks, schools, etc.): \_\_\_\_\_
23. Specific reason(s) for requesting amendment(s), if not sufficient space, a cover letter should be attached:  
this application is to allow for a small scale dry manufacturing shop which will be doing farm equipment service and repairs and sales of farm equipment parts
24. Has the subject land ever been the subject of a Zoning By-law Amendment?  
Yes  No  Unknown
- If yes, and if known, specify the file number and status of the application:  
A1-446

#### Servicing for subject land

25. Facilities existing or proposed for subject lands:

<b>type of access</b>	<b>existing</b>	<b>proposed</b>
_____ provincial highway	_____	_____
<input checked="" type="checkbox"/> _____ municipal road, maintained year round	<input checked="" type="checkbox"/> _____	_____
_____ municipal road, seasonally maintained	_____	_____
_____ other public road	_____	_____
please specify _____		
_____ right of way available	_____	
please specify _____		
_____ water access available	_____	

Describe the parking and docking facilities and the approximate distance of these facilities \_\_\_\_\_

<b>type of water supply</b>	<b>existing</b>	<b>proposed</b>
_____ municipally operated piped water system	_____	
<input checked="" type="checkbox"/> _____ privately owned/operated individual well	<input checked="" type="checkbox"/> _____	
_____ privately owned/operated communal well	_____	
_____ lake or other water body	_____	
please specify _____		
_____ other means	_____	
please specify _____		

<b>type of storm water management</b>	<b>existing</b>	<b>proposed</b>
_____ storm drainage sewer pipe	_____	
_____ ditch	_____	
_____ swale	_____	
<input checked="" type="checkbox"/> _____ other means	_____	

please specify sheet flow \_\_\_\_\_

<b>type of sewage disposal</b>	<b>existing</b>	<b>proposed</b>
_____ municipally operated sanitary sewers	_____	_____
X _____ privately owned/operated individual septic	X _____	_____
_____ privately owned/operated communal septic	_____	_____
_____ privy	_____	_____
_____ other means	_____	_____
please specify _____		

26. Is there an approved Site Plan and/or a Site Plan Control Agreement in effect on any portion of the subject lands?

Yes  No

If yes, has an amendment to the Site Plan and/or Agreement been applied for?

Yes  No

27. Are there any easements, rights-of-way, restrictions, covenants, or other agreements applicable to the subject lands? (if yes, describe what they are and include applicable Site Plan if applicable.)

Yes  No

**Part C**  
**The proposal**

28. Describe the **nature** and extent of the relief applied for and the proposed use of the subject lands.

\_\_\_\_\_ this proposal is to move the existing zoning to be within the building cluster by removing the current zoning and rezoning the proposed area at the front  
\_\_\_\_\_

29. Describe the reasons for the proposed amendment(s).

\_\_\_\_\_ to permit a small scale dry manufacturing shop  
\_\_\_\_\_

30. Describe the timing of the proposed development, including phasing.

\_\_\_\_\_ asap  
\_\_\_\_\_

31. Additional Supporting Documents

List any supporting documents: (e.g. Environmental Impact Study, Hydrologic Report, Traffic Study, Market Area Study, Aggregate License Report, Storm Water Management Report)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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**Part D**  
**Statement of compliance**

32. Is this application consistent with the policy statements issued under subsection 3(1) of the Planning Act?  
Yes  No
33. Is the subject land within an area of land designated under any provincial plan or plans?  
Yes  No

If yes, explain how the application conforms with or does not conflict with the applicable provincial plan or plans.

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**Additional requirements**

34. Supplementary and support material to accompany application, where applicable
- a) a survey of the property prepared by an Ontario Land Surveyor indicating topographical contours and other natural and artificial features such as existing buildings and their uses, railways, highways, pipelines, ditches, swamps, watercourses, drainage, and wooded areas within or adjacent to the subject land. This survey should clearly indicate the land which is the subject of the amendment.
- OR
- b) a sketch *drawn to scale* showing the following:
    - 1) Boundaries and dimensions of the subject land.
    - 2) Location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
    - 3) Approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the *opinion of the applicant, may affect the application*. Examples include buildings, railways, roads, watercourses, drainage ditch, river or stream banks, wetlands, wooded areas, wells and septic tanks.
    - 4) Current use(s) on land that is adjacent to the subject land.
    - 5) Location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right of way.
    - 6) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
    - 7) Location and nature of any easement affecting the subject land.
    - 8) North Arrow

**Other information**

35. Is there any other information that you think may be useful to the municipality or other agencies in reviewing the application? If so, explain below or attach on a separate page:

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**Part E**  
**Authorization and affidavit**

36. Owner's Consent (Freedom of Information):

In accordance with the provision of the Planning Act, it is the policy of the Municipality to provide public access to all development applications and supporting documentation.

In submitting this development application and supporting documents I (we),

Norman Martin - Dunside Inc. \_\_\_\_\_ and \_\_\_\_\_  
Name of Owner(s)

hereby acknowledge the above-noted and provide my (our) consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, as well as commenting letters of reports issued by the municipality and other review agencies will be part of the public record and will also be available to the general public.

\_\_\_\_\_  
Signature of Owner \_\_\_\_\_ 28/01/25  
date  
\_\_\_\_\_  
Signature of Owner \_\_\_\_\_  
date

37. Owner's Authorization for Agent

I (we), Norman Martin - Dunside Inc. \_\_\_\_\_ and \_\_\_\_\_  
Name of Owner(s)

hereby authorize Solomon Martin \_\_\_\_\_ to act as  
our agent(s) for the purpose of this application.

\_\_\_\_\_  
Signature of Owner \_\_\_\_\_ 28/01/25  
date  
\_\_\_\_\_  
Signature of Owner \_\_\_\_\_ 28/01/25  
date

38. Owner's Authorization for Access

I/we, Norman Martin - Dunside Inc. \_\_\_\_\_ and \_\_\_\_\_  
Name of Owner(s)

hereby permit Township staff and its representatives to enter upon the premises during regular business hours for the purpose of performing inspections of the subject property.

\_\_\_\_\_  
Signature of Owner \_\_\_\_\_ 28/01/25  
date  
\_\_\_\_\_  
Signature of Owner \_\_\_\_\_  
date  
\_\_\_\_\_  
Signature of Witness \_\_\_\_\_ 01-28-2025  
date

Solemn declaration

39. Affidavit

To be completed by owner(s), agent(s), or applicant(s) having completed the application form

Note: This Affidavit must be signed in the presence of a Commissioner for Taking Oaths.

I/ (We) Solomon Martin  
Name(s)


of the Township of Wellesley in the Region of Waterloo  
city/town/municipality county/region

Solemnly declare that all statements contained in this application and all the information provided is true, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.


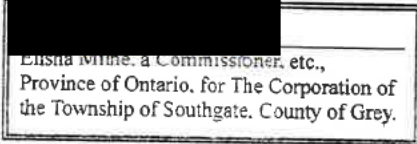
Declared before me at the:

Township of Southgate in County of Grey  
city/town/municipality county/region

This 31 day of January, 2025

  
Signature of Commissioner

  
Signature of Applicant

  
print name

Signature of Applicant

print name

Schedule "A"

Supplementary Information – Agricultural Lands

Agricultural Property History on the subject parcel

(i) What type of farming has been or is currently being conducted?

Beef

Dairy

Swine

Poultry

Sheep

Cash Crop

Other (describe) \_\_\_\_\_

Describe in detail the size, age and feed type used for the type of farming conducted: \_\_\_\_\_  
\_\_\_\_\_

(i) How long have you owned the farm? 2021 \_\_\_\_\_

(ii) Are you actively farming the land  
(or – do you have the land farmed under your supervision)?

Yes – For how long?

2022 \_\_\_\_\_

No – When did you stop farming? \_\_\_\_\_

For what reason did you stop farming? \_\_\_\_\_  
\_\_\_\_\_

(iii) Area of total farm holding: 10 ha \_\_\_\_\_

(iv) Number of tillable hectares: 1.8 ha \_\_\_\_\_

(v) Do you own any other farm properties?  Yes  No

If yes, indicate locations: Lot: 21 Concession: 3 \_\_\_\_\_

Former Township: Proton \_\_\_\_\_

Total Hectares: 40 \_\_\_\_\_

(vi) Do you rent any other land for farming purposes?  Yes  No

If yes, indicate locations: Lot: \_\_\_\_\_ Concession: \_\_\_\_\_

Former Township: \_\_\_\_\_

Total Hectares: \_\_\_\_\_

(vii) Is there a barn on the subject property?  Yes  No

Please indicate the condition of the barn: new in 2022 \_\_\_\_\_  
\_\_\_\_\_

How big is the barn? 200m2 \_\_\_\_\_

What is the present use of the barn? horse barn \_\_\_\_\_  
\_\_\_\_\_

What is the capacity of the barn, in terms of livestock? 5 horses \_\_\_\_\_  
\_\_\_\_\_

- (viii) Indicate the manure storage facilities on the subject lands
- Storage already exists
  - No storage required (manure/material is stored for less than 14 days)
  - Liquid
    - inside, underneath slatted floor
    - outside, with permanent, tight fitting cover
    - (treated manure/material) outside, no cover
    - outside, with a permanent floating cover
    - outside, no cover, straight-walled storage
    - outside, roof but with open sides
    - outside, no cover, sloped-sided storage
  - Solid
    - inside, bedded pack
    - outside, covered
    - outside, no cover, >= 30% DM
    - outside, no cover, 18-30% DM, with covered liquid runoff storage
    - outside, no cover, 18-30% DM, with uncovered liquid runoff storage
- (ix) Are there any barns on other properties within 450 meters (1,476.38 ft) of the subject lands?  Yes  No

If yes, these barns and distances to the subject property must be shown on the sketch. The following questions must be answered for each property containing a barn regardless of current use.

(x) What type of farming has been conducted on this other property?

beef cow barn on parcel to the east 350 meters away

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(xi) Indicate the number of tillable hectares on other property: 15.5 ha

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(xii) Indicate the size of the barn(s): 480m2

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(xiii) Capacity of barn in terms of livestock: 40 cows 6 horses

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(xiv) Manure Storage facilities on other property (see storage types listed in question above)

outside covered

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Additional information will be required for Minimum Distance Separation (MDS) calculations – please discuss this with Planning Staff prior to submitting your application

## Zoning amendment process

**Purpose:** a zoning by-law amendment is required to change a zone symbol on a property to permit expanded or different land uses on a specific property. A zoning by-law amendment may also be requested to change a zone provision (setback or similar regulation) or general provision.

**Process:** Discuss your proposal with the municipal planning department prior to submitting your application. Make your application to the planning department along with the required fee. A planning staff report will be prepared and a public meeting will be set. The applicant will be advised of the time and date of this meeting and invited to make representation at this time in order to explain why the zoning amendment request is being made.

You can expect a decision on your application within 150 days. This time is used to review the application, set up a public meeting, post the required public notice, draft a zoning by-law amendment and ensure that all other required documentation is in order.

At least 20 days prior to the public meeting, notice of the public meeting is either sent to every assessed property within 120 metres (400 feet) of the subject property or a notice is placed in the appropriate local newspaper. The applicant or a representative must attend the public meeting to explain why the zoning amendment is required to members of the Council and the public, as well as answer any questions that may arise.

A site plan and agreement may be required to be negotiated prior to any further proceedings of the rezoning process. Following the public meeting and if Council is satisfied with the application, an amending by-law will be considered by Council. Should the by-law be passed, a notice of passing is prepared and sent to everyone on the first mailing list or published in the newspaper. A 20 day appeal period is required to be included in this notice to allow anyone to appeal the by-law to the Ontario Municipal Board.

Should your application not be approved by Council, you also have the right to appeal to the Local Planning Appeals Tribunal within the same 20 day appeal period. More information is available by contacting the municipal planning department or on the Web at: <http://elto.gov.on.ca/news/local-planning-appeal-tribunal/>

If the application is approved and no appeal is filed, a notice of no appeal is prepared and sent to the applicant at which time the process is now completed. A building permit would not be available for any works associated with the by-law until the appeal period has passed and if no appeals were filed.

### Zoning by-law amendment process summary

1. Pre-consultation (required by By-law 66-2012)
2. Submit application
3. Clerk sets a public meeting  
Notice sent to neighbours within 120 metres (400 feet) and various agencies, 20 days prior to public meeting.
4. Public meeting  
Applicant and/or agent should attend to resolve any potential concerns.  
Council will consider the proposal and may pass a by-law that meeting.
5. Appeal period  
After a Notice of Passing for the by-law amendment is sent to neighbours within 120 metres (400 feet) and agencies, 20 day appeal period begins.
6. Decision final  
If not appeal is filed with the Township within the appeal period, the process is complete and the zoning by-law amendment is in full force and effect.

\*\*\*please do not return this page\*\*\*





building class for this building is F3  
 truck traffic is expected to be minimal  
 2 or 3 trucks daily and not semis  
 current business is farm equipment repair  
 and runs from 7am to 7pm on week days  
 closed Sundays and Statutory Holidays

ZONING TABLE		
APPLICATION	PERMIT/REQUIRED	PROPOSED
OFDU SITE AREA 2% OF LOT SIZE	2% of 25 acres* 2000 m2 rezone area	2000 m2 proposed
BUILDING TOTAL TO A MAX OF 20% OF 2% OFDU	capped at 400 outdoor storage area must be within the 2%	400m2 shop 150m2 storage area proposed
PARKING SPACES 3,048 X 6.1 METERS	2 park spaces	2 park spaces
LOT COVERAGE	10 % lot coverage	under 2%
roll *	420709.000504901	
Legal Description CON 2 SWTSR PT LOT 221 PT:LOT 222		
<p><b>Norman H Martin- Dunside inc,</b>  <b>752395 IDA STREET</b>  <b>Southgate On.</b></p> <p>CON 2 SWTSR PT LOT 221 PT:LOT 222</p>		
Monday, February 3, 2025		
Drawing Scale 0.020" = 1'-0"	Drawn by: SMM	
<b>site plan</b>		





## The Corporation of the Township of Southgate Notice of Public Meeting and Complete application Concerning a Proposed Zoning By-law Amendment

**Take Notice** that the Council of the Corporation of the Township of Southgate has received a complete application for a Zoning By-law Amendment and is notifying the public pursuant to Section 34 of the Planning Act, R.S.O. 1990, as amended. Council will hold a **public meeting** on:

**March 26, 2025, at 10:30 AM**

in the Council Chambers located at 123273 Southgate Road 12, Holstein Ontario NOG 2A0 **and** electronically via Zoom to consider the proposed by-law amendment.

Please join the electronic public meeting from your computer, tablet, or smartphone <https://zoom.us/j/93016816575?pwd=YLHCA6NxNh2CAbI1QTsbT3Qg1F8o1b.1>

You can also dial in using your phone. Phone: +1 647 374 4685 Meeting ID: 930 1681 6575 Passcode: 510279

**NOTE:** To speak at the meeting or join electronically, please register in advance by contacting the Clerk, Lindsey Green using the contact information below:

[lgreen@southgate.ca](mailto:lgreen@southgate.ca) or **519-923-2110 ext. 230**

The meeting will be livestreamed on the Township YouTube Channel: <https://www.youtube.com/user/SouthgateTownship>

**The Purpose** of the application is to relocate the area zoned Agriculture 1 Exception 446 (A1-446) on the subject lands permitting an On Farm Diversified Use and to change the requirements of the A1-446 zone as follows:

- Increase the floor area of the proposed shop from 250 square metres to 400 square metres (including the existing home industry on-site), and
- Decrease the outdoor storage from 670 square metres to 270 square metres

**The Effect** is to allow a 400 square metres metal works shop as an On Farm Diversified Use with 270 square metres maximum outdoor storage accessory to the existing agricultural use which includes a farm house and barn.

### Description of the Subject Land (C1-25)

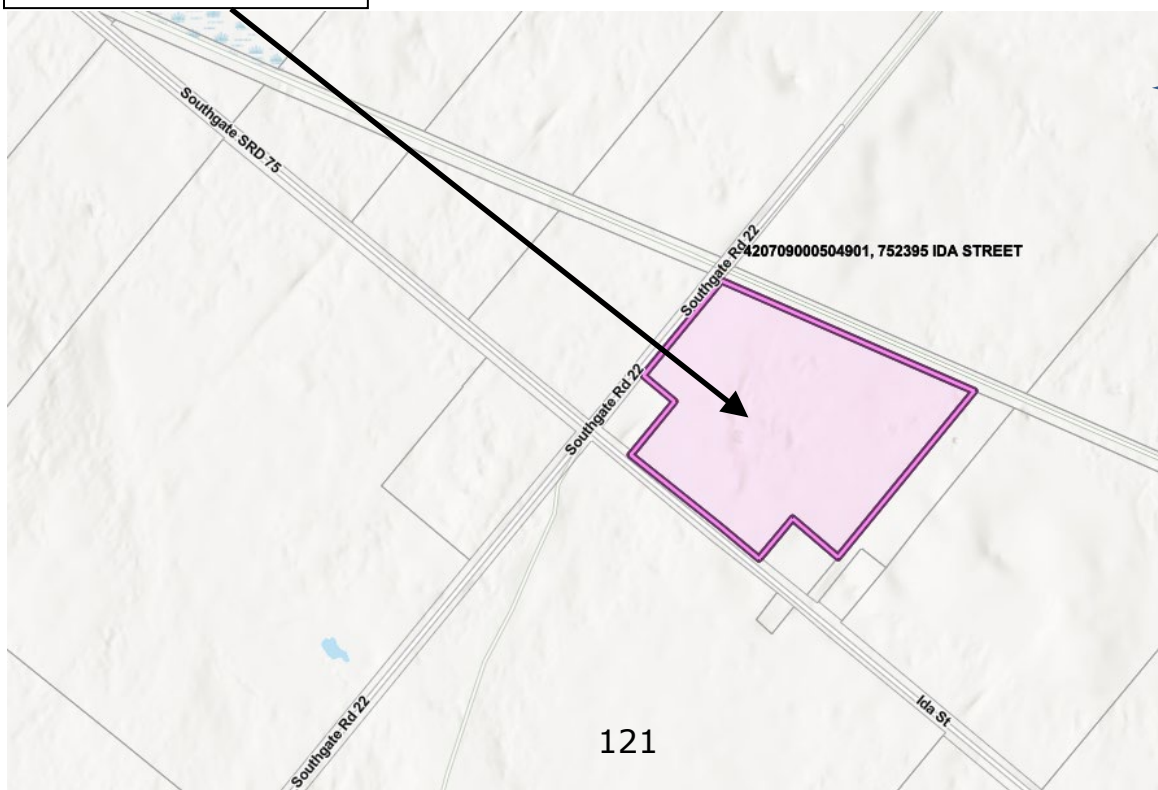
**Registered Owner:** Norman and Salome Martin - Dunside Inc.

**Legal Description:** Con 2 SWTSR PT Lot 221, Pt Lot 222, Geographic Township of Proton, Township of Southgate

**Civic Address:** 752395 Ida Street

### Key Map

**SUBJECT LAND**



File Number: C1-25 Norman & Salome Martin (Dunside)

**Any person or public body** is entitled to attend the public meeting and make written or oral submissions in support of, or in opposition to, the proposed zoning by-law amendment. Persons wishing to make an oral submission to Council at the public meeting are invited to register with the Township Clerk (see contact information below). Written comments should also be addressed to the Clerk at the address below. **Please note that all submissions and the personal information contained therein will become part of the public record in their entirety and may be posted to Southgate's website.**

**Mandatory wording**

**If** you wish to be notified of the decision of Township of Southgate Council on the proposed zoning by-law amendment, you must make a written request to the Clerk of the Township of Southgate, 185667 Grey Rd 9, Dundalk, ON N0C 1B0.

**If** a person or public body would otherwise have an ability to appeal the decision of the Township of Southgate Council to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Southgate before the by-law is passed, the person or public body is not entitled to appeal the decision.

**If** a person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Southgate before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Notwithstanding the above subsection 34(19) of the Planning Act defines the parties eligible to appeal the decision to the Ontario Land Tribunal.

**Additional Information and Comments**

Please submit written comments to the Clerk at the address shown below. Lindsey Green, Clerk, [lgreen@southgate.ca](mailto:lgreen@southgate.ca), Phone: (519) 923-2110 ext. 230. Township of Southgate 185667 Grey Rd 9, Dundalk, ON N0C 1B0

Additional information is also available for public viewing on Southgate's website at <https://www.southgate.ca/municipal-services/planning-and-land-use/planning-applications-and-public-notices/> , at the Township of Southgate Administration Office during normal business hours, or by contacting the Municipal Planner at 519-923-2110 ext. 235. Please quote file: **C1-25**

Dated at the Township of Southgate, this 27<sup>th</sup> day of February 2025



March 17<sup>th</sup>, 2025

Elisha Milne  
Township of Southgate  
185667 Grey Road 9  
Dundalk, ON  
N0C 1B0

**RE: Zoning By-law Amendment C1-25  
Concession 2 SWTSR, Part Lot 221, and part Lot 222 (752395 Ida Street)  
Township of Southgate (Geographic Township of Proton)  
Roll: 420709000504901  
Owners: Dunside Inc. (Norman and Salome Martin)  
Applicant: Solomon Martin**

Dear Ms. Milne,

This correspondence is in response to the above noted application. We have had an opportunity to review the application in relation to the Provincial Planning Statement (PPS) and the County of Grey Official Plan (OP). We offer the following comments.

The purpose and effect of the subject application is to relocate the area zoned Agriculture 1 Exception 446 (A1-446) on the subject lands permitting an On Farm Diversified Use and to change the requirements of the A1-446 zone to increase the floor area of the proposed shop from 250 square metres to 400 square metres (including the existing home industry on-site), and to decrease the outdoor storage from 670 square metres to 270 square metres. This would allow a 400 square metres metal works shop as an On Farm Diversified Use with 270 square metres maximum outdoor storage accessory to the existing agricultural use which includes a farmhouse and a barn.

Schedule A of the County OP designates the subject lands as 'Rural'. Section 5.2.1(1) states,

*Permitted uses in the Agricultural land use type include:*

*c) On-farm diversified uses (See Table 7);*

In addition, Section 5.2.2(5) of the County OP states,

*MDS I will generally not be required for on-farm diversified uses, except where a municipality has required MDS to apply in their municipal official plan or zoning by-law.*

The proposed on-farm diversified use is permitted within the Rural designation. It is recommended that the use conform to MDS, if indicated within the municipality's Zoning By-Law.

Section 5.2.2 Table 8 states that the on-farm diversified use shall be,

*The lessor of: 2% of the total size of the property, or a maximum combined area of the use of 2,000 square metres.*

Further, Section 5.2.2(17) of the County OP states,

*The gross floor area of the buildings (combined total for all buildings associated with the on-farm diversified uses) shall not exceed 20% of the total area of the on-farm diversified use.*

The subject property is approximately 9.5 hectares in size which would permit a total area of 1,900 square metres to be used for the proposed OFDU, including all parking, loading, buildings, servicing, and outdoor storage. The gross floor area for any structures would be limited to 380 square meters. The applicant's proposed use will cover an area of 2,000 square metres and the proposed shop would be 400 square metres, both of which do not conform with the County OP; therefore, County Planning staff recommend that the subject application be deferred until such time that the size of the proposed use and shop conform with the County OP.

Section 5.2.2(20) of the County OP states,

*Ministry of the Environment, Conservation and Parks (MECP) D-6 Guidelines, or any successor thereto, shall be considered for any new agricultural-related uses or on-farm diversified uses or an industrial nature in the Agricultural, Special Agricultural, or Rural land use types, to guide the separation of industrial uses from nearby dwellings, institutional uses, or other sensitive non-agricultural uses. Uses which are covered as normal farm practices by the Farming and Food Practices Protection Act (FFPPA) shall not be required to meet the D-6 Guidelines, provided they meet all required Provincial noise, air, water, and wastewater standards.*

Municipal staff shall review the applicability of the D-6 Guidelines to the proposed development.

Section 8.9.1(4) of the County OP states,

*The following hierarchy of water or sanitary servicing options will be used to evaluate any development applications within the County, except where specific exclusions are made through this Plan or where more detailed policies have been developed in a local official plan or secondary plan. The feasibility of the options will be considered in the following order of priority which will be assessed through a Servicing Options Study in accordance with the Ministry of the Environment, Conservation and Parks (MECP) D-5-3 Series Guidelines, or any subsequent update to these Guidelines:*

- d) *Individual on-site sewage services and individual on-site water services in accordance with the policies contained in Section 8.9.1.*

From a general planning perspective, it should be ensured that the subject property can safely provide on-site water and sewage servicing.

Schedule A of the County OP indicates that the subject lands contain 'Hazard Lands'. The proposed development is located outside of the Hazard Lands; therefore, County Planning staff have no concerns.

County Planning Ecology staff have reviewed the subject application and have no concerns.

Should the applicant seek to injure or destruct trees on lands that extend more than 15 metres from the outer edge of which a Building Permit has been issued, staff recommend consulting the County's Forestry Management By-law <http://grey.ca/forests-trails>. An exemption to the by-law includes the injuring or destruction of trees required in order to install and provide utilities to the construction or use of the building, structure or thing in respect of which a Building Permit has been issued.

County Planning staff recommend that the subject application be deferred until such time that the size of the proposed use and shop conform with Section 5.2.2 of the County OP.

The County requests notice of any decision rendered with respect to this file.

If you wish to discuss this matter further, please contact me.

Yours truly,



Page 4  
March 17<sup>th</sup>, 2025

Derek McMurdie  
Planner  
(548) 877 0857  
[Derek.McMurdie@grey.ca](mailto:Derek.McMurdie@grey.ca)  
[www.grey.ca](http://www.grey.ca)

**From:** [Municipal Planning](#)  
**To:** [Elisha Milne](#)  
**Subject:** RE: Notice of Public Meeting - Zoning By-law Amendment Application C1-25 Norman & Salome Martin (Dunside Inc.)  
**Date:** March 3, 2025 11:31:41 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)

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Thank you for your circulation.

Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.

Please always call before you dig, see web link for additional details:  
<https://www.enbridgegas.com/safety/digging-safety-for-contractors>

Please continue to forward all municipal circulations and clearance letter requests electronically to [MunicipalPlanning@Enbridge.com](mailto:MunicipalPlanning@Enbridge.com).

Regards,

**Willie Cornelio** CET (he/him)  
Sr Analyst, Municipal Planning  
**Engineering**

**ENBRIDGE**  
TEL: 416-495-6411  
500 Consumers Rd, North York, ON M2J1P8  
[enbridge.com](http://enbridge.com)  
**Safety. Integrity. Respect. Inclusion.**

---

**From:** Elisha Milne <emilne@southgate.ca>  
**Sent:** Thursday, February 27, 2025 10:24 AM  
**To:** Six Nations of the Grand River <lonnybomberry@sixnations.ca>; Bell Canada <planninganddevelopment@bell.ca>; Bell Canada ROWCC <rowcentre@bell.ca>; Bluewater District School Board <shelley\_crummer@bwdsb.on.ca>; Bluewater District School Board <jayme\_bastarache@bwdsb.on.ca>; Brenna Carroll <bcarroll@southgate.ca>; chad.aitken@bgcdsb.org; Municipal Planning <MunicipalPlanning@enbridge.com>; Ontario Lands <ONTLands@enbridge.com>; Fire Chief <firechief@southgate.ca>; Group\_PlanningDeptEmails <Group\_PlanningDeptEmails@grey.ca>; Haudenosaunee <info@hdi.land>; Historic Saugeen Metis <hsmrcc@bmts.com>; Hydro One <landuseplanning@hydroone.com>; Jim Ellis <jellis@southgate.ca>; John Watson <jwatson@southgate.ca>; Juanita Meekins <juanita.meekins@saugeenojibwaynation.ca>; Ken Melanson <kmelanson@southgate.ca>; Kevin Green <kgreen@southgate.ca>; Lacy Russell <lrussell@southgate.ca>; Lindsey Green <lgreen@southgate.ca>; Meagan Bruce <M.Bruce@publichealthgreybruce.on.ca>; Metis Nation of Ontario <consultations@metisnation.org>; MMAH <Tyler.Shantz@ontario.ca>;

Newdevelopment@rci.rogers.com; Ontario Power Generation  
<Executivevp.lawanddevelopment@opg.com>; Phil Schram <pschram@southgate.ca>; Saugeen  
Ojibway Nation <associate.ri@saugeenojibwaynation.ca>; SVCA Planning <southgate@svca.on.ca>;  
ONTUGLLandsINQ <ONTUGLLandsINQ@enbridge.com>; Victoria Mance <vmance@southgate.ca>

**Cc:** Bill White <bwhite@tritoneng.on.ca>

**Subject:** [External] Notice of Public Meeting - Zoning By-law Amendment Application C1-25 Norman  
& Salome Martin (Dunside Inc.)

**CAUTION! EXTERNAL SENDER**

**Were you expecting this email? TAKE A CLOSER LOOK. Is the sender legitimate?  
DO NOT click links or open attachments unless you are 100% sure that the email is  
safe.**

Good afternoon,

Please find the below link for the Notice of Public meeting for Zoning By-law Amendment Application  
C1-25 Norman & Salome Martin (Dunside Inc.):

<https://www.southgate.ca/media/bpzhmirq/c1-25-notice-of-public-meeting.pdf>

Additional application documents can be found under the heading “Zoning By-law Amendment  
Applications - C1-25 Norman & Salome Martin (Dunside Inc.)” at the below link:

<https://www.southgate.ca/municipal-services/planning-and-land-use/planning-applications-and-public-notices/>

The Public Meeting is scheduled for **March 26, 2025, at 10:30 AM** in the Council Chambers located  
at 123273 Southgate Road 12, Holstein Ontario N0G 2A0 **and** electronically via Zoom. Please supply  
all comments on the above notification by **March 19, 2025**, so they may be included in the public  
agenda.

Comments can be received by:

Email: [emilne@southgate.ca](mailto:emilne@southgate.ca)

Fax: 519-923-9262 Attn: Elisha Milne

Mail: Elisha Milne, Legislative and Planning Coordinator  
185667 Grey County Road 9  
Dundalk, ON N0C 1B0

Thank you for your attention to this matter,

**Elisha Milne**

Legislative & Planning Coordinator

**Township of Southgate**

185667 Grey County Rd. 9, Dundalk, ON N0C 1B0

519-923-2110 ext. 232 | Fax 519-923-9262

[emilne@southgate.ca](mailto:emilne@southgate.ca) | [www.southgate.ca](http://www.southgate.ca)



**From:** [Lindsey Green](#)  
**To:** [Elisha Milne](#)  
**Subject:** FW: Request for Comments - Township of Southgate (Martin) - Proposed Zoning By-law Amendment  
**Date:** March 13, 2025 1:05:31 PM  
**Attachments:** [image002.png](#)

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**From:** hsmlrcc@bmts.com <hsmlrcc@bmts.com>  
**Sent:** March 13, 2025 1:04 PM  
**To:** Lindsey Green <lgreen@southgate.ca>  
**Subject:** Re: Request for Comments - Township of Southgate (Martin) - Proposed Zoning By-law Amendment

## **Township of Southgate**

### **Re: File number C1-25**

The Historic Saugeen Métis (HSM) Lands, Waters and Consultation Department has reviewed the relevant documents and has no objection to the proposed Zoning By-law Amendment as presented.

Thank you for the opportunity to review this matter.

Regards,

Neala

Neala MacLeod Farley  
Coordinator, Lands, Waters & Consultation

Historic Saugeen Métis  
204 High Street  
Southampton, ON  
saugeenmetis.com  
519-483-4000



*This message is intended for the addressees only. It may contain confidential or privileged information. No rights to privilege have been waived. Any copying, retransmittal, taking of action in reliance on, or other use of the information in this communication by persons other than the intended recipients(s) is prohibited. If you have received this message in error, please reply to the sender by e-mail and delete or destroy all copies of this message.*



**From:** [Karen Gillan](#)  
**To:** [planning@grey.ca](mailto:planning@grey.ca); [Southgate Planning](#); [Lindsey Green](#); [Elisha Milne](#)  
**Cc:** [RMO Mailbox](#)  
**Subject:** RE: County comments for C1-25 Dunside Inc.  
**Date:** March 17, 2025 10:29:57 AM

---

Good morning,

Please note that this property is not located in a vulnerable source protection area where policies under the local Source Protection Plan apply, therefore we have no comments on this application under the Clean Water Act.

Regards,

Karen Gillan

Program Supervisor/Risk Management Inspector

519.376.3076 Ext. 205

237897 Inglis Falls Road

Owen Sound, ON N4K 5N6

[www.greysauble.on.ca](http://www.greysauble.on.ca)

---

**From:** [planning@grey.ca](mailto:planning@grey.ca) <[planning@grey.ca](mailto:planning@grey.ca)>

**Sent:** March 17, 2025 10:13 AM

**To:** [planning@southgate.ca](mailto:planning@southgate.ca); [lgreen@southgate.ca](mailto:lgreen@southgate.ca); [emilne@southgate.ca](mailto:emilne@southgate.ca); [RMO Mailbox](#) <[rmo@greysauble.on.ca](mailto:rmo@greysauble.on.ca)>

**Subject:** County comments for C1-25 Dunside Inc.

## County comments for C1-25 Dunside Inc.



Hello Southgate,

Please see link(s) below for the County comments for Zoning application C1-25 Dunside Inc. - Dunside Inc. (Norman & Salome Martin).

[County Comments C1-25 Dunside Inc.pdf](#)

Please note, a paper copy will not be provided unless requested.

Let us know if you have any questions.

Best regards,

Derek McMurdie

County of Grey, Owen Sound, ON

**Township of Southgate**

185667 Grey County Road 9,  
Dundalk, ON N0C 1B0

**John Watson,**  
**Acting Public Works Manager**  
**jwatson@southgate.ca**



**Phone:** 519-923-2110 ext. 250

**Toll Free:** 1-888-560-6607

**Fax:** 519-923-9262

**Cell:** 519-373-7844

**Public Works Department**

Date: March 7, 2025

File No.: C1-25

Can a safe access be provided? Yes  No

Road Drainage Concern: None

Road Standard: Rural asphalt

Road Widening Necessary? Yes  No

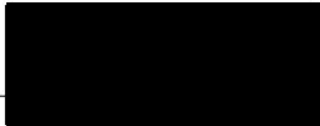
Entrance Requirements: Commercial paved entrance required

Load Restricted Road: Yes  No

Comments:

---

Signed: \_\_\_\_\_



John Watson, Acting Public Works Manager



1078 Bruce Road 12 | P.O. Box 150 | Formosa ON  
Canada | N0G 1W0 | 519-364-1255  
[www.saugeenconservation.ca](http://www.saugeenconservation.ca)  
[publicinfo@svca.on.ca](mailto:publicinfo@svca.on.ca)

SENT ELECTRONICALLY ONLY: [emilne@southgate.ca](mailto:emilne@southgate.ca)

March 19, 2025

Township of Southgate  
185667 Grey Road 9  
RR 1  
Dundalk, Ontario  
N0C 1B0

ATTENTION: Elisha Milne, Legislative and Planning Coordinator

Dear Elisha Milne,

RE: Zoning By-law Amendment C1-25 (Norman and Salome Martin (Dunside Inc.)  
752395 Ida Street  
Roll No.: 420709000504901  
Part Lot 221-22 Con 2 SWTSR Concession 13  
Geographic Township of Proton  
Township of Southgate

The above-noted application has been received by the Saugeen Valley Conservation Authority (SVCA) in accordance with the Mandatory Programs and Services Regulation (Ontario Regulation 686/21) made under the *Conservation Authorities Act* (CA Act). SVCA staff have reviewed the proposal for consistency with SVCA's environmental planning and regulation policies (<https://www.saugeenconservation.ca/en/permits-and-planning/resources/Environmental-Regulations/January-2019-Consolidated-Manual-Interim.pdf>) made in conformance with the Provincial Planning Statement, CA Act, O. Regulation 41/24, and associated provincial guidelines. Where a Memorandum of Agreement (MOA) exists between a planning partner and the SVCA, staff have reviewed the application for conformity with the natural hazard policies of the applicable Municipality or County.

### **Purpose**

The purpose of the application is to relocate the area zoned Agriculture 1 Exception 446 (A1-446) on the subject lands permitting an On Farm Diversified Use and to change the requirements of the A1-446 zone as follows:

- Increase the floor area of the proposed shop from 250 square metres to 400 square metres (including the existing home industry on-site), and
- Decrease the outdoor storage from 670 square metres to 270 square metres

## **Recommendation**

The proposed application is generally acceptable to SVCA staff.

## **Documents Reviewed by Staff**

Staff have received and reviewed the following documents submitted with this application:

- 1) Application form, dated January 2025;
- 2) Site Plan, dated February 3, 2025;
- 3) Notice of Complete Applications and Public Meeting, dated February 27, 2025.

## **Background**

Regarding this proposal, SVCA issued SVCA permit 23-197 on July 25, 2023 for: construction of a 587 square metre shed/barn with manure storage and associated septic system, replacement of a residential septic system, fill placement and grading for building yard, filling of an existing isolated pond, and installation of systematic farm drainage tile.

## **Site Characteristics**

Current SVCA mapping shows that the central portion of the property is within the SVCA's Screening Area. The natural hazard features affecting the property include any floodplain and any wetland/swamp areas.

Areas of the property are mapped as Hazard Lands in the Grey County OP and Township of Southgate OP, and zoned EP in the Township of Southgate Zoning By-law.

Based on the plan submitted with the application, the existing and proposed areas to be rezoned for OFDU (on-farm diversified use) will not be within the EP zone or Hazard Land Area designation.

## **Provincial Planning Statement (PPS, 2024)**

In accordance with s. 7 of O. Regulation 686/21, SVCA shall act on behalf of the Province or as a public body under the *Planning Act* (PA) to ensure municipal decisions made under the PA are consistent with the natural hazards policies of the PPS, Chapter 5.

Sections 5.1 and 5.2 of the PPS, 2024 states in part that development shall be directed away from areas of natural or human-made hazards where there is an unacceptable risk to ...and not create new or aggravate existing hazards.

It is the opinion of the SVCA that the proposal is consistent with sections 5.1 and 5.2 of the PPS, 2024.

## **Township of Southgate and County of Grey Official Plan Policies**

The following comments are made in accordance with MOU with the Township of Southgate. As mentioned above, areas of the property are mapped as Hazard Lands in the Grey County OP and Township of Southgate OP, and zoned EP in the Township of Southgate Zoning By-law.

Based on the plans submitted with the application, the existing and proposed areas to be rezoned for OFDU (on-farm diversified use) will not be within the EP zone or Hazard Land Area designation.

Section 5.5.2 of the Southgate OP and Section 7.2.3 of the Grey County OP state in part that buildings and structures are generally not permitted in the Hazard Lands land use type. Based on the plan submitted with the proposal, the proposal would be consistent with the Southgate OP and Grey County OP.

### **Conservation Authorities Act and O. Regulation 41/24**

Within SVCA's regulated areas and in accordance with the CA Act and O. Regulation 41/24, a permit from the SVCA is required to change or interfere with watercourses or wetlands and for development activities in or adjacent to hazardous lands, wetlands, river or stream valleys, Great Lakes and inland lake shorelines. When reviewing an application, SVCA staff must assess the proposal for impacts to the control of flooding, erosion, dynamic beaches, or unstable soil or bedrock, and ensure the activity will not create conditions or circumstances that, in the event of a natural hazard, might jeopardize the health or safety of persons or result in the damage or destruction of property. Provided staff are satisfied the proposal is consistent with SVCA's policies, designed to mitigate these risks, a permit can be issued.

To determine the SVCA Approximate Regulated Area on the property, please refer to the SVCA's online mapping, available via SVCA's website

<https://camaps.maps.arcgis.com/apps/webappviewer/index.html?id=f0ec744c8d6d4e499895aaaab3d83761>.) Should you require assistance, please contact our office directly.

#### **SVCA Permit**

As noted above, regarding this proposal, SVCA issued SVCA permit 23-197 on July 25, 2023 for: construction of a 587 square metre shed/barn with manure storage and associated septic system, replacement of a residential septic system, fill placement and grading for building yard, filling of an existing isolated pond, and installation of systematic farm drainage tile.

### **Drinking Water Source Protection**

The subject property appears to SVCA staff to not be located within an area that is subject to the local Drinking Water Source Protection Plan.

### **Summary**

SVCA staff have reviewed the proposal for consistency with SVCA's policies made in conformance with the Provincial Planning Statement, CA Act, O. Regulation 41/24, and associated provincial guidelines. Where a Memorandum of Agreement (MOA) exists between a planning partner and the SVCA, staff have reviewed the application for conformity with the natural hazard policies of the applicable Municipality or County.

Given the above comments, it is the opinion of the SVCA staff that:

- 1) Consistency with the Natural Hazard policies of the PPS, Chapter 5 has been demonstrated.
- 2) Consistency with local planning policies for natural hazards has been demonstrated.

C1-25 (Norman and Salome Martin (Dunside Inc.)

March 19, 2025

Page 4 of 4

Please inform this office of any decision made by the planning approval authority regarding the application. We respectfully request to receive a copy of the decisions and notice of any appeals filed.

Should you have any questions, or require this information in an accessible format, please contact the undersigned.

Sincerely,

Michael Oberle  
Environmental Planning Technician  
Saugeen Conservation  
MO/

cc: Solomon Martin, agent (via email)  
Barbara Dobreen, Authority Member, SVCA (via email)



The corporation of  
The Township of Southgate

Application for planning amendment  
Official plan and zoning by-law

**\*\* Pre-consultation is required with the Township before any zoning or official plan amendment applications will be accepted (By-law 66-2012)\*\***

**Instructions:**

- Please check all applicable boxes and answer all applicable questions
- All measurements MUST be in metric units. (Imperial Units will not be accepted)
- Additional information may be attached if necessary
- Incomplete applications will be returned
- The Township reserves the right to ask for more information or clarification pertaining to this application at a later time
- Further information is on the last two pages for your reference
- Applications are not accepted without the required fees
- All applications for zoning by-law amendment or Official Plan Amendment must

**For office use only**

File no: C2-25  
 Pre-Consult Date: \_\_\_\_\_  
 Date received: Jan 31, 2025  
 Date accepted: \_\_\_\_\_  
 Accepted by: \_\_\_\_\_  
 Roll # 42 07 090 005 09700  
 Conservation authority fee required: SVCA/GRCA  
 Other information: \_\_\_\_\_  
AI, AI-408, EP

Pursuant to one or more of the following Sections 22, 34, 36, and/or 39 of the *Planning Act*, as amended, I/we submit an application for: (check appropriate box)

<input type="checkbox"/> <b>Amendment to the Official Plan</b>	Minor \$1,500.00 application fee plus \$2,000.00 contingency fee Major \$2,500.00 application fee plus \$5,000.00 contingency fee	
<i>*contingency fee required for all Official Plan Amendment applications</i>		
<input checked="" type="checkbox"/> <b>Amendment to the Zoning By-law</b>	<del>\$1,200.00</del> application fee Major \$2,000.00 application fee Major \$2,500.00 contingency fee	\$2,900
<i>*contingency fee required only for complex applications</i>		
<input type="checkbox"/> <b>Removal of a Holding Provision</b>	\$500.00 application fee or with a related site plan application \$500.00 application fee	
<input type="checkbox"/> <b>Temporary Use By-Law Amendment</b>	\$1,500.00 application fee	

Pre Consultation \$500

**Other Required Fees:**

<input type="checkbox"/> <b>Public Notice Sign Fee</b>	\$100.00	\$145
<input type="checkbox"/> <b>Conservation Authority Fees</b>	SVCA \$230.00 GRCA Call directly for details	\$260

County of Grey Review Fee \$400

**Note on fees:**

The application fees were adopted and approved under the Township of Southgate's fees and charges By-law. All required application fees shall be paid in cash or by cheque made payable to the Township of Southgate at the time of application submission. In the event that all fees are not paid in full at the time of submission, the application shall be deemed incomplete.

\$4,205

Contingency fees will be utilized to cover costs associated with this application when deemed necessary by the Township of Southgate, i.e. professional consultants and legal advice. Any portion of the contingency fee not used in connection with the review and completion of an application will be returned. The applicant further agrees to pay any additional costs and expenses beyond the initial contingency fee which shall be determined by staff of the Corporation of the Township of Southgate in the event that the amount of the initial contingency fee taken is insufficient.

Be advised that the applicant or a representative is expected to appear at any meetings (including the public meeting) to explain the proposal and answer any questions that may arise. Failure to do so may result in deferral of the application and increased costs.



**Part A**

**Owner/Agent/Application information**

\*to be completed by the applicant

1. Name of registered owner: Israel/Elizabeth Martin

Mailing address: [REDACTED]

Phone# : (H) [REDACTED] (B) [REDACTED]

Email Address [REDACTED]

2. Name of applicant: same as owner

Mailing address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Email: \_\_\_\_\_

Applicant's Relationship to Subject Lands:

- Registered Property Owner
- Holder of Option to Purchase Subject Lands
- Signing Officer of Corporation
- Other [Specify] \_\_\_\_\_

3. Name of agent (if applicable) Allen S M Martin

Mailing address: [REDACTED]

Phone# [REDACTED] Email: [REDACTED]

4. Send all correspondence to (choose only one):  Applicant  Agent

5. Preferred Method of communication:  Phone  email  Postal Mail

6. Name any mortgages, charges or encumbrances, in respect to the subject lands:

\_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone#: \_\_\_\_\_

**Part B**

**The subject lands**

7. Location of subject property (former municipality):

- Township of Egremont
- Township of Proton
- Village of Dundalk

Road/street and number: 712007 Southgate SRD 71

Tax roll#: 420709000509700

Lot 239,240 Concession 4 SWTSR

Lot \_\_\_\_\_ of Plan \_\_\_\_\_

8. The date the subject land was acquired by the current owner: 2016

9. Dimensions of subject property:

frontage 402 m depth 1005 m area 40 sq m/ha

10. Description of the area affected by this application if only a portion of the entire property shown on sketch

11. Abutting and nearby lands uses

(a) Interest in abutting lands - does the owner or applicant of the subject lands own or have a legal interest in any lands abutting the subject lands? Yes  No

If yes, describe to what extent \_\_\_\_\_

(b) Use of abutting and nearby lands - describe the present use on all properties abutting and opposite the subject lands.

North wetland East ag  
South ag West wetland

(c) Agricultural livestock operations

if an existing livestock operation is located within 450 metres of the subject lands, prepare a sketch showing locations and approximate size of livestock barns (as per Additional Requirements 20. (b) request) and you must fill out Schedule "A".

12. Environmental Constraints

Indicate whether any of the following environmental constraints apply to the subject lands:

- |                                   |                                     |  |                          |
|-----------------------------------|-------------------------------------|--|--------------------------|
| Wetlands                          | <input checked="" type="checkbox"/> | Specialty Crop Lands                             | <input type="checkbox"/> |
| Floodplains                       | <input type="checkbox"/>            | ANSI's (areas of natural or scientific interest) | <input type="checkbox"/> |
| Streams, Ravines and Lakes        | <input checked="" type="checkbox"/> | Aggregate Resources                              | <input type="checkbox"/> |
| Water Resources                   | <input type="checkbox"/>            | Thin Overburden                                  | <input type="checkbox"/> |
| Wooded Areas & Forest Management  | <input type="checkbox"/>            | Solid Waste Management                           | <input type="checkbox"/> |
| Fisheries, Wildlife & Environment | <input type="checkbox"/>            | Sewage Treatment Plant                           | <input type="checkbox"/> |
| Heritage Resources                | <input type="checkbox"/>            |  |                          |

13. Official Plan

Indicate the current Official Plan Designation:

- |                     |                          |                                       |                                     |
|---------------------|--------------------------|---------------------------------------|-------------------------------------|
| Neighbourhood Area  | <input type="checkbox"/> | Agriculture                           | <input type="checkbox"/>            |
| Downtown Commercial | <input type="checkbox"/> | Rural                                 | <input checked="" type="checkbox"/> |
| Arterial Commercial | <input type="checkbox"/> | Inland Lakes                          | <input type="checkbox"/>            |
| Industrial          | <input type="checkbox"/> | Space Extensive Industrial/Commercial | <input type="checkbox"/>            |
| Public Space        | <input type="checkbox"/> | Hazard Lands                          | <input type="checkbox"/>            |
| Special Policy Area | <input type="checkbox"/> | Wetlands                              | <input type="checkbox"/>            |
| Major Open Space    | <input type="checkbox"/> | Mineral Aggregate Extraction          | <input type="checkbox"/>            |
| Village Community   | <input type="checkbox"/> |                                       |                                     |

14. Zoning By-law

Present zoning rural and A1 with exception A1-408

Requested zoning rural and A1 with exception to allow woodworking

15. Specific proposed use(s) of subject property that this amendment would authorize: (provide a sketch showing locations and approximate size for each building or structure)

small scale shop - existing metal works and changing to woodworking.

**For Official Plan Amendment Applications Only:**

14.

16. Please answer the following about this proposed Official Plan Amendment:

Does this application change or replace a designation in the Official Plan?

Changes  Replaces

17. Is this application to implement an alteration to the boundary of an area of settlement or to implement a new area of settlement?

Yes  No

If yes, please provide the details of the official plan or the official plan amendment that deals with this matter.

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18. Does this application propose to remove land from an area of employment?

Yes  No

If yes, please provide the details of the official plan or official plan amendment that deals with this matter.

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14. Is the application being submitted in conjunction with a proposed County Official Plan Amendment? Yes  No

If yes, please provide the details of the official plan or official plan amendment that deals with this matter.

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Type of building/structure \_\_\_\_\_

Setbacks:

front lot line \_\_\_\_\_

rear lot line \_\_\_\_\_

side lot line \_\_\_\_\_

Building/structure:

height \_\_\_\_\_ dimensions / floor area \_\_\_\_\_

15. The date the existing building(s) or structure(s) on the subject land were constructed: \_\_\_\_\_

16. The length of time that the existing uses of the subject land have continued:  
\_\_\_\_\_

17. If proposed use is residential, indicate proximity of subject lands to community facilities (parks, schools, etc.): \_\_\_\_\_  
\_\_\_\_\_

18. Specific reason(s) for requesting amendment(s), if not sufficient space, a cover letter should be attached:  
\_\_\_\_\_  
\_\_\_\_\_

19. Has the subject land ever been the subject of a Zoning By-law Amendment?

Yes  No  Unknown

If yes, and if known, specify the file number and status of the application:  
\_\_\_\_\_

**Servicing for subject land**

20. Facilities existing or proposed for subject lands:

<b>type of access</b>	<b>existing</b>	<b>proposed</b>
_____ provincial highway	_____	_____
<input checked="" type="checkbox"/> municipal road, maintained year round	<input checked="" type="checkbox"/>	_____
_____ municipal road, seasonally maintained	_____	_____
_____ other public road	_____	_____
please specify _____	_____	_____
_____ right of way available	_____	_____
please specify _____	_____	_____
_____ water access available	_____	_____

Describe the parking and docking facilities and the approximate distance of these facilities \_\_\_\_\_

<b>type of water supply</b>	<b>existing</b>	<b>proposed</b>
_____ municipally operated piped water system	_____	_____
<input checked="" type="checkbox"/> privately owned/operated individual well	<input checked="" type="checkbox"/>	_____
_____ privately owned/operated communal well	_____	_____
_____ lake or other water body	_____	_____
please specify _____	_____	_____
_____ other means	_____	_____
please specify _____	_____	_____

<b>type of storm water management</b>	<b>existing</b>	<b>proposed</b>
_____ storm drainage sewer pipe	_____	_____
_____ ditch	_____	_____
_____ swale	_____	_____
<input checked="" type="checkbox"/> other means	_____	_____

please specify sheet flow

<b>type of sewage disposal</b>	<b>existing</b>	<b>proposed</b>
<input type="checkbox"/> municipally operated sanitary sewers	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> privately owned/operated individual septic	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> privately owned/operated communal septic	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> privy	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> other means	<input type="checkbox"/>	<input type="checkbox"/>

please specify \_\_\_\_\_

21. Is there an approved Site Plan and/or a Site Plan Control Agreement in effect on any portion of the subject lands?

Yes  No

If yes, has an amendment to the Site Plan and/or Agreement been applied for?

Yes  No

22. Are there any easements, rights-of-way, restrictions, covenants, or other agreements applicable to the subject lands? (if yes, describe what they are and include applicable Site Plan if applicable.)

Yes  No

### Part C The proposal

23. Describe the **nature** and extent of the relief applied for and the proposed use of the subject lands.

To change the metal work shop zoning to wood working and lumber drying zoning and remove provision limiting employees.

24. Describe the reasons for the proposed amendment(s).

To change the shop use from metal work shop to wood working and lumber drying shop

25. Describe the timing of the proposed development, including phasing.

ASAP

26. Additional Supporting Documents

List any supporting documents: (e.g. Environmental Impact Study, Hydrologic Report, Traffic Study, Market Area Study, Aggregate License Report, Storm Water Management Report)

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**Part D**  
**Statement of compliance**

27. Is this application consistent with the policy statements issued under subsection 3(1) of the Planning Act?

Yes  No

28. Is the subject land within an area of land designated under any provincial plan or plans?

Yes  No

If yes, explain how the application conforms with or does not conflict with the applicable provincial plan or plans.

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**Additional requirements**

29. Supplementary and support material to accompany application, where applicable

a) a survey of the property prepared by an Ontario Land Surveyor indicating topographical contours and other natural and artificial features such as existing buildings and their uses, railways, highways, pipelines, ditches, swamps, watercourses, drainage, and wooded areas within or adjacent to the subject land. This survey should clearly indicate the land which is the subject of the amendment.

OR

b) a sketch *drawn to scale* showing the following:

- 1) Boundaries and dimensions of the subject land.
- 2) Location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- 3) Approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditch, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- 4) Current use(s) on land that is adjacent to the subject land.
- 5) Location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right of way.
- 6) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- 7) Location and nature of any easement affecting the subject land.
- 8) North Arrow

### Other information

30. Is there any other information that you think may be useful to the municipality or other agencies in reviewing the application? If so, explain below or attach on a separate page:

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There would be no change in the building, we only want to change the use. We do want to add separate kilns for drying lumber that would be used in the woodworking shop. Hours of operation would still be from 7:00 AM until 6:00 PM with limited over time to meet the demands of the customer. Truck traffic would be expected at 3 trucks daily round trip to deliver raw material and pick up finished product. The number of employees would not be limited. The shop would not run on statutory holidays or any Sunday.

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**Part E**  
**Authorization and affidavit**

31. Owner's Consent (Freedom of Information):

In accordance with the provision of the Planning Act, it is the policy of the Municipality to provide public access to all development applications and supporting documentation.

In submitting this development application and supporting documents I (we),

Israel Martin and Elizabeth Martin  
Name of Owner(s)

hereby acknowledge the above-noted and provide my (our) consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, as well as commenting letters of reports issued by the municipality and other review agencies will be part of the public record and will also be available to the general public.

\_\_\_\_\_  
Signature of Owner Jan 31/25  
date

\_\_\_\_\_  
Signature of Owner Jan 31/25  
date

32. Owner's Authorization for Agent

I(we), Israel Martin and Elizabeth Martin  
Name of Owner(s)

hereby authorize Allen S M Martin to act as our agent(s) for the purpose of this application.

\_\_\_\_\_  
Signature of Owner Jan 31/25  
date

\_\_\_\_\_  
Signature of Owner Jan 31/25  
date

33. Owner's Authorization for Access

I/we, Israel Martin, and Elizabeth Martin  
Name of Owner(s)

hereby permit Township staff and its representatives to enter upon the premises during regular business hours for the purpose of performing inspections of the subject property.

\_\_\_\_\_  
Signature of Owner Jan 31/25  
date

\_\_\_\_\_  
Signature of Owner Jan 31/25  
date

\_\_\_\_\_  
Signature of Witness date



**Solemn declaration**

34. Affidavit

To be completed by owner(s), agent(s), or applicant(s) having completed the application form

**Note: This Affidavit must be signed in the presence of a Commissioner for Taking Oaths.**

I/ (We) Allen S M Martin  
Name(s)

of the Township of Wellesley in the County of Waterloo  
city/town/municipality county/region

Solemnly declare that all statements contained in this application and all the information provided is true, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

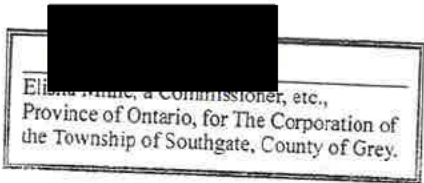
Declared before me at the:

Township of Southgate in County of Grey  
city/town/municipality county/region

This 31 day of January, 2025

  
Signature of Commissioner

  
Signature of Applicant



Allen S M Martin  
print name

Signature of Applicant  
print name

Schedule "A"

Supplementary Information – Agricultural Lands

Agricultural Property History on the subject parcel

(i) What type of farming has been or is currently being conducted?

- Beef, Dairy, Swine, Poultry, Sheep, Cash Crop, Other (describe)

Describe in detail the size, age and feed type used for the type of farming conducted:

(i) How long have you owned the farm? 2016

(ii) Are you actively farming the land (or - do you have the land farmed under your supervision)?

Yes - For how long? 2018

No - When did you stop farming?

For what reason did you stop farming?

(iii) Area of total farm holding: 40 h

(iv) Number of tillable hectares: 24

(v) Do you own any other farm properties? Yes No

If yes, indicate locations: Lot: Concession:

Former Township:

Total Hectares:

(vi) Do you rent any other land for farming purposes? Yes No

If yes, indicate locations: Lot: Concession:

Former Township:

Total Hectares:

(vii) Is there a barn on the subject property? Yes No

Please indicate the condition of the barn: excellent, new in 2018

How big is the barn? 895 m2

What is the present use of the barn? sheep and horses for transportation

What is the capacity of the barn, in terms of livestock? 160 sheep, 5 horses

- (viii) Indicate the manure storage facilities on the subject lands
- Storage already exists
  - No storage required (manure/material is stored for less than 14 days)
  - Liquid
    - inside, underneath slatted floor
    - outside, with permanent, tight fitting cover
    - (treated manure/material) outside, no cover
    - outside, with a permanent floating cover
    - outside, no cover, straight-walled storage
    - outside, roof but with open sides
    - outside, no cover, sloped-sided storage
  - Solid
    - inside, bedded pack
    - outside, covered
    - outside, no cover,  $\geq 30\%$  DM
    - outside, no cover, 18-30% DM, with covered liquid runoff storage
    - outside, no cover, 18-30% DM, with uncovered liquid runoff storage
- (ix) Are there any barns on other properties within 450 meters (3,280 ft) of the subject lands?  Yes  No

If yes, these barns and distances to the subject property must be shown on the sketch. The following questions must be answered for each property containing a barn regardless of current use.

(x) What type of farming has been conducted on this other property?

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(xi) Indicate the number of tillable hectares on other property: \_\_\_\_\_

(xii) Indicate the size of the barn(s): \_\_\_\_\_

(xiii) Capacity of barn in terms of livestock: \_\_\_\_\_

(xiv) Manure Storage facilities on other property (see storage types listed in question above)

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Additional information will be required for Minimum Distance Separation (MDS) calculations – please discuss this with Planning Staff prior to submitting your application

## Zoning amendment process

**Purpose:** a zoning by-law amendment is required to change a zone symbol on a property to permit expanded or different land uses on a specific property. A zoning by-law amendment may also be requested to change a zone provision (setback or similar regulation) or general provision.

**Process:** Discuss your proposal with the municipal planning department prior to submitting your application. Make your application to the planning department along with the required fee. A planning staff report will be prepared and a public meeting will be set. The applicant will be advised of the time and date of this meeting and invited to make representation at this time in order to explain why the zoning amendment request is being made.

You can expect a decision on your application within 120 days. This time is used to review the application, set up a public meeting, post the required public notice, draft a zoning by-law amendment and ensure that all other required documentation is in order.

At least 20 days prior to the public meeting, notice of the public meeting is either sent to every assessed property within 120 metres (400 feet) of the subject property or a notice is placed in the appropriate local newspaper. The applicant or a representative must attend the public meeting to explain why the zoning amendment is required to members of the Council and the public, as well as answer any questions that may arise.

A site plan and agreement may be required to be negotiated prior to any further proceedings of the rezoning process. Following the public meeting and if Council is satisfied with the application, an amending by-law will be considered by Council. Should the by-law be passed, a notice of passing is prepared and sent to everyone on the first mailing list or published in the newspaper. A 20 day appeal period is required to be included in this notice to allow anyone to appeal the by-law to the Ontario Municipal Board.

Should your application not be approved by Council, you also have the right to appeal to the Ontario Municipal Board within the same 20 day appeal period. More information is available by contacting the municipal planning department or on the Web at: <http://www.omb.gov.on.ca>

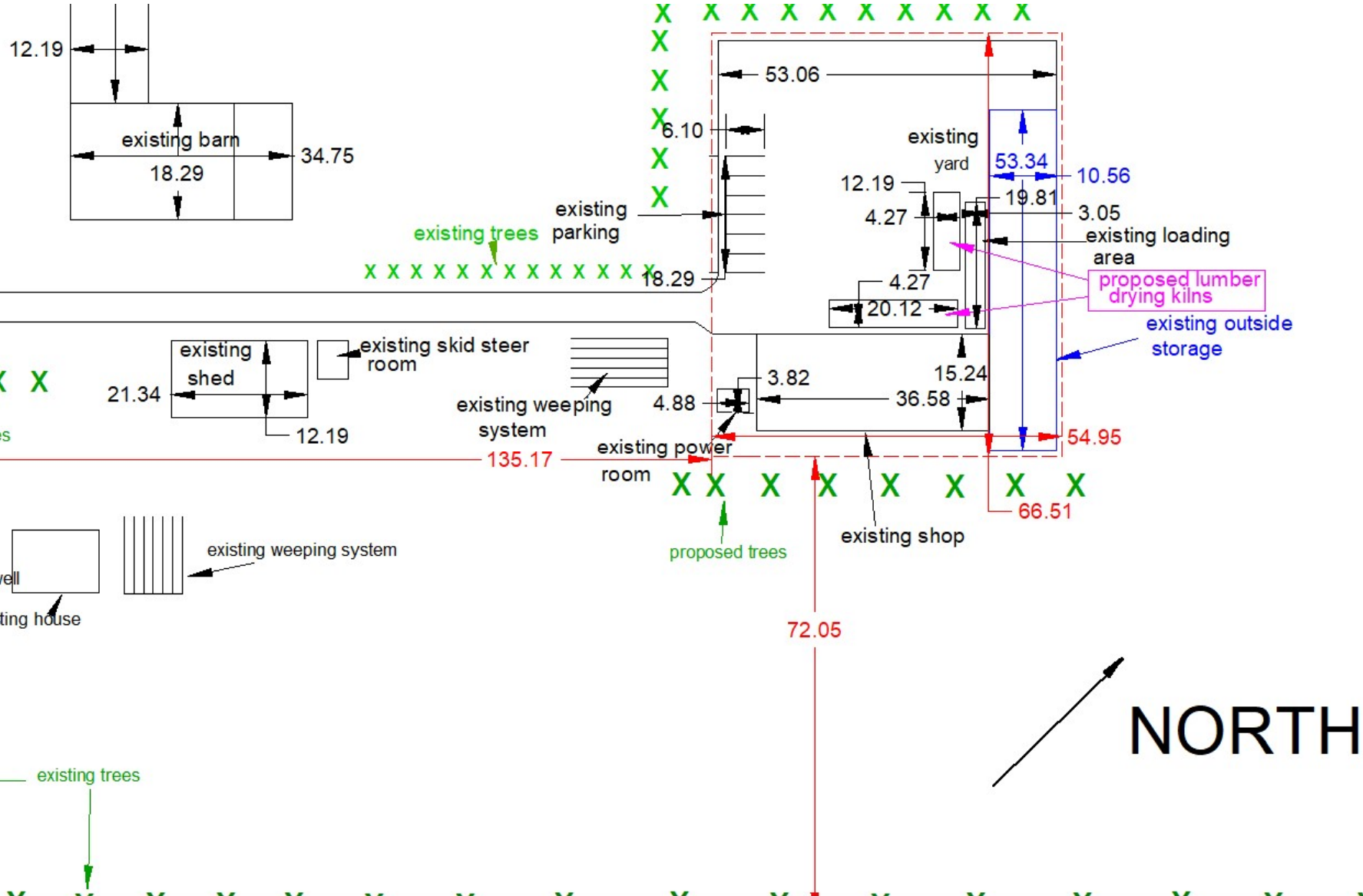
If the application is approved and no appeal is filed, a notice of no appeal is prepared and sent to the applicant at which time the process is now completed. A building permit would not be available for any works associated with the by-law until the appeal period has passed and if no appeals were filed.

### Zoning by-law amendment process summary

1. Pre-consultation (required by By-law 66-2012)
2. Submit application
3. Clerk sets a public meeting  
Notice sent to neighbours within 120 metres (400 feet) and various agencies, 20 days prior to public meeting.
4. Public meeting  
Applicant and/or agent should attend to resolve any potential concerns.  
Council will consider the proposal and may pass a by-law that meeting.
5. Appeal period  
After a Notice of Passing for the by-law amendment is sent to neighbours within 120 metres (400 feet) and agencies, 20 day appeal period begins.
6. Decision final  
If not appeal is filed with the Township within the appeal period, the process is complete and the zoning by-law amendment is in full force and effect.

\*\*\*please do not return this page\*\*\*

Southgate Sideroad 71







## The Corporation of the Township of Southgate Notice of Public Meeting and Complete application Concerning a Proposed Zoning By-law Amendment

**Take Notice** that the Council of the Corporation of the Township of Southgate has received a complete application for a Zoning By-law Amendment and is notifying the public pursuant to Section 34 of the Planning Act, R.S.O. 1990, as amended. Council will hold a **public meeting** on:

**March 26, 2025, at 10:30 AM**

in the Council Chambers located at 123273 Southgate Road 12, Holstein Ontario NOG 2A0 **and** electronically via Zoom to consider the proposed by-law amendment.

Please join the electronic public meeting from your computer, tablet, or smartphone <https://zoom.us/j/93016816575?pwd=YLHCA6NxNh2CAbI1QTsbT3Qg1F8o1b.1>

You can also dial in using your phone. Phone: +1 647 374 4685 Meeting ID: 930 1681 6575 Passcode: 510279

**NOTE:** To speak at the meeting or join electronically, please register in advance by contacting the Clerk, Lindsey Green using the contact information below:

[lgreen@southgate.ca](mailto:lgreen@southgate.ca) or **519-923-2110 ext. 230**

The meeting will be livestreamed on the Township YouTube Channel:

<https://www.youtube.com/user/SouthgateTownship>

**The Purpose** of the application is to change the requirements of the Agriculture 1 Exception 408 (A1-408) on the subject lands permitting an On Farm Diversified Use as follows:

- Change the use of the existing shop from metal works, welding, small equipment and parts manufacture and repair to woodworking.
- Increase the floor area of the proposed shop to +-717.75 square metres including lumber drying kilns, power room and shop.
- Remove the limit of a maximum 5 employees plus owner, and
- Increase outdoor storage from 395 square metres to +-563.5 square metres.

**The Effect** is to allow a +-717.75 square metres woodworking shop as an On Farm Diversified Use with +-563.5 square metres maximum outdoor storage accessory to the existing agricultural use which includes a farm house, barn, shed and skid steer room. The number of employees in the On Farm Diversified Use would not be limited in the zoning by-law.

### Description of the Subject Land (C2-25)

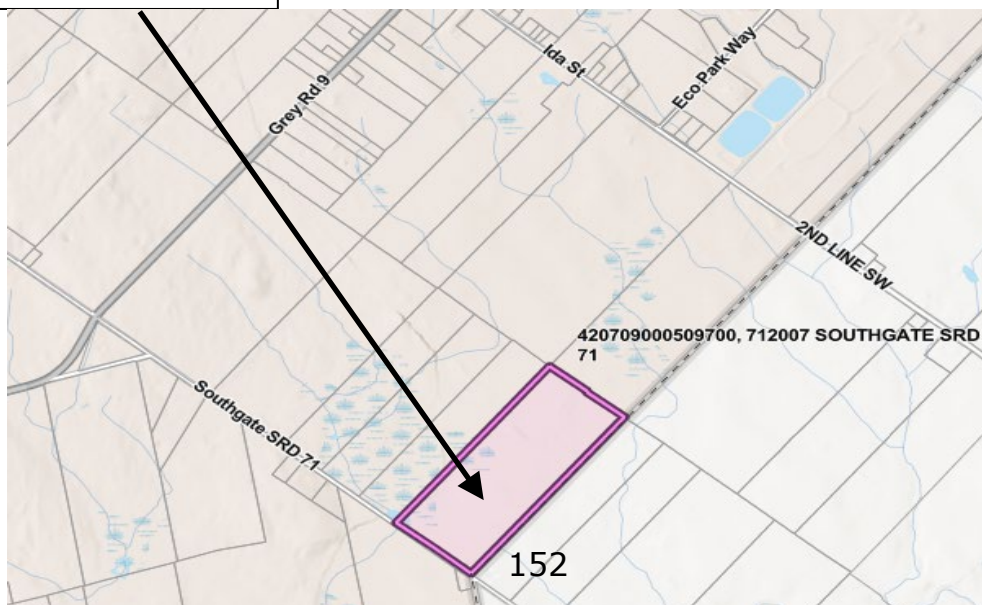
**Registered Owner:** Israel and Elizabeth Martin

**Legal Description:** Con 4 SWTSR Lot 239 to 240, Geographic Township of Proton, Township of Southgate

**Civic Address:** 712007 Southgate Sideroad 71

### Key Map

**SUBJECT LAND**



**Any person or public body** is entitled to attend the public meeting and make written or oral submissions in support of, or in opposition to, the proposed zoning by-law amendment. Persons wishing to make an oral submission to Council at the public meeting are invited to register with the Township Clerk (see contact information below). Written comments should also be addressed to the Clerk at the address below. **Please note that all submissions and the personal information contained therein will become part of the public record in their entirety and may be posted to Southgate's website.**

**Mandatory wording**

**If** you wish to be notified of the decision of Township of Southgate Council on the proposed zoning by-law amendment, you must make a written request to the Clerk of the Township of Southgate, 185667 Grey Rd 9, Dundalk, ON N0C 1B0.

**If** a person or public body would otherwise have an ability to appeal the decision of the Township of Southgate Council to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Southgate before the by-law is passed, the person or public body is not entitled to appeal the decision.

**If** a person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Southgate before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Notwithstanding the above subsection 34(19) of the Planning Act defines the parties eligible to appeal the decision to the Ontario Land Tribunal.

**Additional Information and Comments**

Please submit written comments to the Clerk at the address shown below. Lindsey Green, Clerk, [lgreen@southgate.ca](mailto:lgreen@southgate.ca), Phone: (519) 923-2110 ext. 230. Township of Southgate 185667 Grey Rd 9, Dundalk, ON N0C 1B0

Additional information is also available for public viewing on Southgate's website at <https://www.southgate.ca/municipal-services/planning-and-land-use/planning-applications-and-public-notices/> , at the Township of Southgate Administration Office during normal business hours, or by contacting the Municipal Planner at 519-923-2110 ext. 235. Please quote file: **C2-25**

Dated at the Township of Southgate, this 27<sup>th</sup> day of February 2025

March 17<sup>th</sup>, 2025

Elisha Milne  
Township of Southgate  
185667 Grey Road 9  
Dundalk, ON  
N0C 1B0

**RE: Zoning By-law Amendment C2-25  
Concession 4 SWTSR, Lot 239 to 240 (712007 Southgate Sideroad 71)  
Township of Southgate (Geographic Township of Proton)  
Roll: 420709000509700  
Owners: Israel and Elizabeth Martin  
Applicant: Allen S. M. Martin**

Dear Ms. Milne,

This correspondence is in response to the above noted application. We have had an opportunity to review the application in relation to the Provincial Planning Statement (PPS) and the County of Grey Official Plan (OP). We offer the following comments.

The purpose and effect of the subject application is to change the requirements of the Agriculture 1 Exception 408 (A1-408) on the subject lands permitting an On Farm Diversified Use as follows:

- Change the use of the existing shop from metal works, welding, small equipment and parts manufacture and repair to woodworking.
- Increase the floor area of the proposed shop to +-717.75 square metres including lumber drying kilns, power room and shop.
- Remove the limit of a maximum 5 employees plus owner, and
- Increase outdoor storage from 395 square metres to +-563.5 square metres.

This would allow a +-717.75 square metres woodworking shop as an On Farm Diversified Use with +-563.5 square metres maximum outdoor storage accessory to the existing agricultural use which includes a farmhouse, barn, shed and skid steer room. The number of employees in the On Farm Diversified Use would not be limited in the zoning by-law.



Schedule A of the County OP designates the subject lands as 'Rural'. Section 5.2.1(1) states,

*Permitted uses in the Agricultural land use type include:*

*c) On-farm diversified uses (See Table 7);*

In addition, Section 5.2.2(5) of the County OP states,

*MDS I will generally not be required for on-farm diversified uses, except where a municipality has required MDS to apply in their municipal official plan or zoning by-law.*

The proposed on-farm diversified use is permitted within the Rural designation. It is recommended that the use conform to MDS, if indicated within the municipality's Zoning By-Law.

Section 5.2.2 Table 8 states that the on-farm diversified use shall be,

*The lessor of: 2% of the total size of the property, or a maximum combined area of the use of 8,000 square metres.*

Further, Section 5.2.2(17) of the County OP states,

*The gross floor area of the buildings (combined total for all buildings associated with the on-farm diversified uses) shall not exceed 20% of the total area of the on-farm diversified use.*

The subject property is approximately 40 hectares in size which would permit a total area of 8,000 square metres to be used for the proposed OFDU, including all parking, loading, buildings, servicing, and outdoor storage. The gross floor area for any structures would be limited to 1,600 square meters. The applicant's proposed use will cover an area of 3,655 square metres and the proposed shop would be 717.75 square metres, both of which conform with the County OP; therefore, County Planning staff have no concerns.

Section 5.2.2(20) of the County OP states,

*Ministry of the Environment, Conservation and Parks (MECP) D-6 Guidelines, or any successor thereto, shall be considered for any new agricultural-related uses or on-farm diversified uses or an industrial nature in the Agricultural, Special Agricultural, or Rural land use types, to guide the separation of industrial uses from nearby dwellings, institutional uses, or other sensitive non-agricultural uses.*

*Uses which are covered as normal farm practices by the Farming and Food Practices Protection Act (FFPPA) shall not be required to meet the D-6 Guidelines, provided they meet all required Provincial noise, air, water, and wastewater standards.*

Municipal staff shall review the applicability of the D-6 Guidelines to the proposed development.

Section 8.9.1(4) of the County OP states,

*The following hierarchy of water or sanitary servicing options will be used to evaluate any development applications within the County, except where specific exclusions are made through this Plan or where more detailed policies have been developed in a local official plan or secondary plan. The feasibility of the options will be considered in the following order of priority which will be assessed through a Servicing Options Study in accordance with the Ministry of the Environment, Conservation and Parks (MECP) D-5-3 Series Guidelines, or any subsequent update to these Guidelines:*

- d) Individual on-site sewage services and individual on-site water services in accordance with the policies contained in Section 8.9.1.*

From a general planning perspective, it should be ensured that the subject property can safely provide on-site water and sewage servicing.

Schedule A of the County OP indicates that the subject lands contain 'Hazard Lands'. The proposed development is located outside of the Hazard Lands; therefore, County Planning staff have no concerns.

County Planning Ecology staff have reviewed the subject application and have a comment stating,

*The subject property contains and/or is adjacent to potential 'Habitat of Threatened or Endangered Species', 'Other Identified Wetlands', 'Significant Woodlands', 'Significant Wildlife Habitat', 'Significant Valleylands', potential 'Fish Habitat', and a 'Stream'. Additionally, the property is considered a Significant Groundwater Recharge Area. County staff have reviewed the proposal and based on the site plan, the proposed development will be within adjacent lands to the identified natural heritage features and within a previously disturbed area. As such, it is County staff's opinion that the potential impact to this feature would be negligible, and the requirement for an EIS can be waived.*

*Please note it is the applicant's responsibility to ensure the endangered and threatened species policy referred to in the PPS has been appropriately addressed – “Development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements”. While the County is not supportive of development within Habitat of Threatened and/or Endangered Species, County staff are not the regulating authority under the Endangered Species Act. The applicant is advised to contact the Ministry of Environment, Conservation and Parks (MECP) at [SAROntario@ontario.ca](mailto:SAROntario@ontario.ca) for further information on how to address this policy.*

*County ecology staff have no concerns with the application. If you have any questions or concerns regarding the above, please reach out to [ecology@grey.ca](mailto:ecology@grey.ca).*

Should the applicant seek to injure or destruct trees on lands that extend more than 15 metres from the outer edge of which a Building Permit has been issued, staff recommend consulting the County’s Forestry Management By-law <http://grey.ca/forests-trails>. An exemption to the by-law includes the injuring or destruction of trees required in order to install and provide utilities to the construction or use of the building, structure or thing in respect of which a Building Permit has been issued.

Provided D-6 Guidelines can be addressed; County Planning staff have no concerns with the subject application.

The County requests notice of any decision rendered with respect to this file.

If you wish to discuss this matter further, please contact me.

Yours truly,



Derek McMurdie  
Planner  
(548) 877 0857  
[Derek.McMurdie@grey.ca](mailto:Derek.McMurdie@grey.ca)  
[www.grey.ca](http://www.grey.ca)

**From:** [Municipal Planning](#)  
**To:** [Elisha Milne](#)  
**Subject:** RE: Notice of Public Meeting - Zoning By-law Amendment Application C2-25 Israel Martin  
**Date:** March 3, 2025 3:34:05 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)

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Thank you for your circulation.

Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.

Please always call before you dig, see web link for additional details:  
<https://www.enbridgegas.com/safety/digging-safety-for-contractors>

Please continue to forward all municipal circulations and clearance letter requests electronically to  
[MunicipalPlanning@Enbridge.com](mailto:MunicipalPlanning@Enbridge.com).

Regards,

**Willie Cornelio** CET (he/him)

Sr Analyst, Municipal Planning

**Engineering**

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**ENBRIDGE**

TEL: 416-495-6411

500 Consumers Rd, North York, ON M2J1P8

[enbridge.com](http://enbridge.com)

**Safety. Integrity. Respect. Inclusion.**

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**From:** Elisha Milne <emilne@southgate.ca>

**Sent:** Thursday, February 27, 2025 1:26 PM

**To:** Six Nations of the Grand River <lonnybomberry@sixnations.ca>; grca@grandriver.ca; kdinnick@melanctontownship.ca; Planner Dufferin County (planner@dufferincounty.ca) <planner@dufferincounty.ca>; Bell Canada <planninganddevelopment@bell.ca>; Bell Canada ROWCC <rowcentre@bell.ca>; Bluewater District School Board <shelley\_crummer@bwdsb.on.ca>; Bluewater District School Board <jayme\_bastarache@bwdsb.on.ca>; Brenna Carroll <bcarroll@southgate.ca>; chad.aitken@bgcdsb.org; Municipal Planning <MunicipalPlanning@enbridge.com>; Ontario Lands <ONTLands@enbridge.com>; Fire Chief <firechief@southgate.ca>; Group\_PlanningDeptEmails <Group\_PlanningDeptEmails@grey.ca>; Haudenosaunee <info@hdi.land>; Historic Saugeen Metis <hsmrcc@bmts.com>; Hydro One <landuseplanning@hydroone.com>; Jim Ellis <jellis@southgate.ca>; John Watson <jwatson@southgate.ca>; Juanita Meekins <juanita.meekins@saugeenojibwaynation.ca>; Ken Melanson <kmelanson@southgate.ca>; Kevin Green <kgreen@southgate.ca>; Lacy Russell <lrussell@southgate.ca>; Lindsey Green <lgreen@southgate.ca>; Meagan Bruce <M.Bruce@publichealthgreybruce.on.ca>; Metis Nation of Ontario <consultations@metisnation.org>; MMAH <Tyler.Shantz@ontario.ca>;

Newdevelopment@rci.rogers.com; Ontario Power Generation  
<Executivevp.lawanddevelopment@opg.com>; Phil Schram <pschram@southgate.ca>; Saugeen  
Ojibway Nation <associate.ri@saugeenojibwaynation.ca>; SVCA Planning <southgate@svca.on.ca>;  
ONTUGLLandsINQ <ONTUGLLandsINQ@enbridge.com>; Victoria Mance <vmance@southgate.ca>

**Cc:** Bill White <bwhite@tritoneng.on.ca>

**Subject:** [External] Notice of Public Meeting - Zoning By-law Amendment Application C2-25 Israel  
Martin

**CAUTION! EXTERNAL SENDER**

**Were you expecting this email? TAKE A CLOSER LOOK. Is the sender legitimate?  
DO NOT click links or open attachments unless you are 100% sure that the email is  
safe.**

Good afternoon,

Please find the below link for the Notice of Public meeting for Zoning By-law Amendment Application  
C2-25 Israel Martin

<https://www.southgate.ca/media/qqcl2zml/c2-25-notice-of-public-meeting.pdf>

Additional application documents can be found under the heading "Zoning By-law Amendment  
Applications - C2-25 Israel Martin" at the below link:

<https://www.southgate.ca/municipal-services/planning-and-land-use/planning-applications-and-public-notices/>

The Public Meeting is scheduled for **March 26, 2025, at 10:30 AM** in the Council Chambers located  
at 123273 Southgate Road 12, Holstein Ontario N0G 2A0 **and** electronically via Zoom. Please supply  
all comments on the above notification by **March 19, 2025**, so they may be included in the public  
agenda.

Comments can be received by:

Email: [emilne@southgate.ca](mailto:emilne@southgate.ca)

Fax: 519-923-9262 Attn: Elisha Milne

Mail: Elisha Milne, Legislative and Planning Coordinator  
185667 Grey County Road 9  
Dundalk, ON N0C 1B0

Thank you for your attention to this matter,

**Elisha Milne**

Legislative & Planning Coordinator

**Township of Southgate**

185667 Grey County Rd. 9, Dundalk, ON N0C 1B0

519-923-2110 ext. 232 | Fax 519-923-9262

[emilne@southgate.ca](mailto:emilne@southgate.ca) | [www.southgate.ca](http://www.southgate.ca)





March 13, 2025

Via email

GRCA File: C2-25 – 712007 Southgate Sideroad 71

Elisha Milne  
Township of Southgate  
185667 Grey County Road 9  
Dundalk, ON, N0C 1B0

**Re: Zoning By-law Amendment Application C2-25  
712007 Southgate Sideroad 71, Township of Southgate**  
Owners: Israel & Elizabeth Martin  
Agent: Allen S. M. Martin

---

Dear Elisha Milne,

Grand River Conservation Authority (GRCA) staff have reviewed the above-noted zoning by-law amendment application to convert the existing metalworks shop to a woodworking and lumber drying shop.

**Recommendation**

The GRCA has no objection to the above-noted zoning by-law amendment application.

**Documents Reviewed by Staff**

Staff have reviewed the following documents submitted with this application:

- Application Form (prepared by the applicant, dated January 31, 2025).
- Drawing (prepared by the applicant, dated January 31, 2025).

**GRCA Comments**

GRCA has reviewed this application under the Mandatory Programs and Services Regulation (Ontario Regulation 686/21), including acting on behalf of the Province regarding natural hazards identified in Section 5.2 of the Provincial Planning Statement (PPS, 2024), as a regulatory authority under Ontario Regulation 41/24 and as a public body under the *Planning Act* as per our CA Board approved policies.

Information currently available at this office indicates that the subject property contains a watercourse and the associated floodplain and wetland. As such, a portion of the subject property is regulated by GRCA under Ontario Regulation 41/24. Any new development/site alteration within the regulated area will require a permit from the GRCA. A copy of GRCA's resource mapping is attached.

Based on our review of the submission materials, it appears that the proposed development and the area to be rezoned are outside of the regulated area. As such, we have no objection to the proposed zoning by-law amendment application.

**Plan Review Fee:**

This is considered a minor zoning by-law amendment application. Consistent with the GRCA's approved 2024-2025 plan review fee schedule, the applicant will be invoiced in the amount of \$465.00 GRCA's review of this application.

Should you have any questions, please contact me at [jconroy@grandriver.ca](mailto:jconroy@grandriver.ca) or 519-621-2763 extension 2230.

Sincerely,

  
\_\_\_\_\_

Jessica Conroy, MES Pl.  
Resource Planner  
Grand River Conservation Authority  
\*JC/aw

Enclosed: GRCA Map of Subject Property




















Copy: Israel & Elizabeth Martin (via email)  
Allen S. M. Martin (via email)  
Saugeen Valley Conservation Authority (via email [southgate@svca.on.ca](mailto:southgate@svca.on.ca))

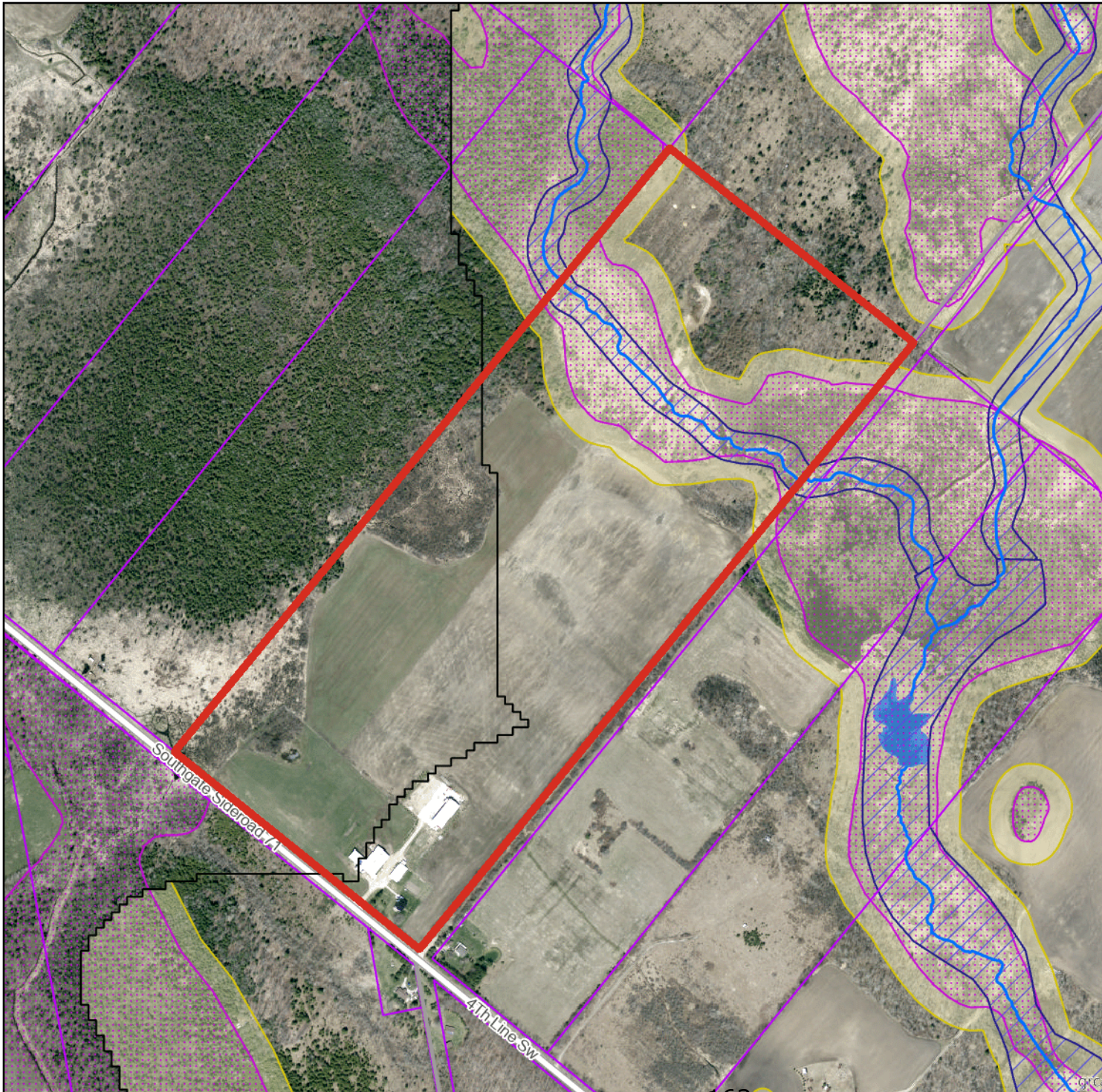




712007 Southgate Sideroad 71,  
Southgate

Legend

-  Regulation Limit (GRCA)
- Floodplain (GRCA)**
  -  Engineered
  -  Estimated
  -  Approximate
-  Floodplain - Special Policy Area (GRCA)
- Slope Erosion (GRCA)**
  -  Steep
  -  Oversteep
  -  Toe
- Slope Valley (GRCA)**
  -  Steep
  -  Oversteep
-  Regulated Watercourse (GRCA)
-  Regulated Waterbody (GRCA)
-  Wetland (GRCA)
-  Lake Erie Flood (GRCA)
-  Lake Erie Shoreline Reach (GRCA)
-  Lake Erie Dynamic Beach (GRCA)
-  Lake Erie Erosion (GRCA)
-  Parcel - Assessment (MPAC/MNRF)
-  Conservation Area Boundary (GRCA)



Copyright Grand River Conservation Authority, 2025.

Disclaimer: This map is for illustrative purposes only. Information contained herein is not a substitute for professional review or a site survey and is subject to change without notice. The Grand River Conservation Authority takes no responsibility for, nor guarantees, the accuracy of the information contained on this map. Any interpretations or conclusions drawn from this map are the sole responsibility of the user.

The source for each data layer is shown in parentheses in the map legend. See [Sources and Citations](#) for details.

Scale 1:7,284

NAD83 UTM zone 17 (EPSG:26917)





**From:** [Lindsey Green](#)  
**To:** [Elisha Milne](#)  
**Subject:** FW: Request for Comments - Township of Southgate (Martin) - Proposed Zoning By-law Amendment  
**Date:** March 13, 2025 1:54:37 PM  
**Attachments:** [image002.png](#)

---

**From:** hsmlrcc@bmts.com <hsmlrcc@bmts.com>  
**Sent:** March 13, 2025 1:54 PM  
**To:** Lindsey Green <lgreen@southgate.ca>  
**Subject:** Re: Request for Comments - Township of Southgate (Martin) - Proposed Zoning By-law Amendment

## **Township of Southgate**

### **Re: File number C2-25**

The Historic Saugeen Métis (HSM) Lands, Waters and Consultation Department has reviewed the relevant documents and has no objection to the proposed Zoning By-law Amendment as presented.

Thank you for the opportunity to review this matter.

Regards,

Neala

Neala MacLeod Farley  
Coordinator, Lands, Waters & Consultation

Historic Saugeen Métis  
204 High Street  
Southampton, ON  
saugeenmetis.com  
519-483-4000



*This message is intended for the addressees only. It may contain confidential or privileged information. No rights to privilege have been waived. Any copying, retransmittal, taking of action in reliance on, or other use of the information in this communication by persons other than the intended recipients(s) is prohibited. If you have received this message in error, please reply to the sender by e-mail and delete or destroy all copies of this message.*

**Township of Southgate**  
185667 Grey County Road 9,  
Dundalk, ON N0C 1B0  
**John Watson,**  
**Acting Public Works Manager**  
**jwatson@southgate.ca**



**Phone:** 519-923-2110 ext. 250  
**Toll Free:** 1-888-560-6607  
**Fax:** 519-923-9262  
**Cell:** 519-373-7844

**Public Works Department**

Date: March 7, 2025

File No.: C2-25

Can a safe access be provided? Yes  No

Road Drainage Concern: None

Road Standard: Rural asphalt

Road Widening Necessary? Yes  No

Entrance Requirements: Commercial paved entrance already there

Load Restricted Road: Yes  No

Comments: \_\_\_\_\_

Signed: \_\_\_\_\_

John Watson, Acting Public Works Manager

**From:** [Karen Gillan](#)  
**To:** [planning@grey.ca](mailto:planning@grey.ca)  
**Cc:** [Lindsey Green](#); [Elisha Milne](#); [RMO Mailbox](#)  
**Subject:** RE: County comments for C2-25 Martin  
**Date:** March 17, 2025 1:44:41 PM

---

Good afternoon,

Please note that this property is not located in a vulnerable source protection area where policies under the local Source Protection Plan apply, therefore we have no comments on this application under the Clean Water Act.

Regards,

Karen Gillan  
Program Supervisor/Risk Management Inspector  
519.376.3076 Ext. 205  
237897 Inglis Falls Road  
Owen Sound, ON N4K 5N6  
[www.greysauble.on.ca](http://www.greysauble.on.ca)

---

**From:** [planning@grey.ca](mailto:planning@grey.ca) <[planning@grey.ca](mailto:planning@grey.ca)>  
**Sent:** March 17, 2025 11:43 AM  
**To:** [planning@southgate.ca](mailto:planning@southgate.ca); [lgreen@southgate.ca](mailto:lgreen@southgate.ca); [emilne@southgate.ca](mailto:emilne@southgate.ca); [RMO Mailbox](#) <[rmo@greysauble.on.ca](mailto:rmo@greysauble.on.ca)>  
**Subject:** County comments for C2-25 Martin

## County comments for C2-25 Martin



Hello Southgate,

Please see link(s) below for the County comments for Zoning application C2-25 Martin - Israel & Elizabeth Martin.

[County Comments C2-25 Martin.pdf](#)

Please note, a paper copy will not be provided unless requested.

Let us know if you have any questions.

Best regards,

Derek McMurdie

County of Grey, Owen Sound, ON



1078 Bruce Road 12 | P.O. Box 150 | Formosa ON  
Canada | N0G 1W0 | 519-364-1255  
[www.saugeenconservation.ca](http://www.saugeenconservation.ca)  
[publicinfo@svca.on.ca](mailto:publicinfo@svca.on.ca)

SENT ELECTRONICALLY ONLY: [emilne@southgate.ca](mailto:emilne@southgate.ca)

March 19, 2025

Township of Southgate  
185667 Grey Road 9  
RR 1  
Dundalk, Ontario  
NOC 1B0

ATTENTION: Elisha Milne, Legislative and Planning Coordinator

Dear Elisha Milne,

RE: Zoning By-law Amendment C2-17 (Israel and Elizabeth Martin)  
712007 Southgate Sideroad 71  
Roll No.: 420709000509700  
Lots 239-240 Concession 4SWTSR  
Geographic Township of Proton  
Township of Southgate

The above-noted application have been received by the Saugeen Valley Conservation Authority (SVCA) in accordance with the Mandatory Programs and Services Regulation (Ontario Regulation 686/21) made under the *Conservation Authorities Act* (CA Act). SVCA staff have reviewed the proposal for consistency with SVCA's environmental planning and regulation policies

<https://www.saugeenconservation.ca/en/permits-and-planning/resources/Environmental-Regulations/January-2019-Consolidated-Manual-Interim.pdf> made in conformance with the

Provincial Planning Statement, CA Act, O. Regulation 41/24, and associated provincial guidelines.

Where a Memorandum of Agreement (MOA) exists between a planning partner and the SVCA, staff have reviewed the application for conformity with the natural hazard policies of the applicable Municipality or County.

SVCA staff note that the property is located within both the SVCA and the Grand River Conservation Authority (GRCA) watersheds. These comments refer only to the southwestern portion of the property which is within the SVCA's watershed.

## **Purpose**

The purpose of the application is to change the requirements of the Agriculture 1 Exception 408 (A1-408) on the subject lands permitting an On Farm Diversified Use as follows:

- Change the use of the existing shop from metal works, welding, small equipment and parts manufacture and repair to woodworking.
- Increase the floor area of the proposed shop to +717.75 square metres including lumber drying kilns, power room and shop.
- Remove the limit of a maximum 5 employees plus owner, and
- Increase outdoor storage from 395 square metres to +563.5 square metres.

## **Recommendation**

The proposed application is generally acceptable to SVCA staff.

## **Documents Reviewed by Staff**

Staff have received and reviewed the following documents submitted with this application:

- 1) Application form, dated January 2025;
- 2) Drawing; and
- 3) Notice of Complete Application and Public Meeting, dated February 27, 2025.

## **Site Characteristics**

Current SVCA mapping shows that a large portion of the property is within the SVCA's Screening Area. The natural hazard features affecting the southern portion of the property include part of Riverview Swamp locally significant wetland/swamp and any floodplain of the wetland/swamps.

Areas of the property are mapped as Hazard Lands in the Grey County OP and Township of Southgate OP, and zoned EP in the Township of Southgate Zoning By-law.

Based on the drawing submitted with the application, the existing and proposed areas to be rezoned will not be within the EP zone or Hazard Land Area designation.

## **Provincial Planning Statement (PPS, 2024)**

In accordance with s. 7 of O. Regulation 686/21, SVCA shall act on behalf of the Province or as a public body under the *Planning Act* (PA) to ensure municipal decisions made under the PA are consistent with the natural hazards policies of the PPS, Chapter 5.

Sections 5.1 and 5.2 of the PPS, 2024 states in part that development shall be directed away from areas of natural or human-made hazards where there is an unacceptable risk to ...and not create new or aggravate existing hazards.

It is the opinion of the SVCA that the proposal is consistent with Sections 5.1 and 5.2 of the PPS, 2024.

## **Township of Southgate and County of Grey Official Plan Policies**

The following comments are made in accordance with MOU with the Township of Southgate. As mentioned above, areas of the property are mapped as Hazard Lands in the Grey County OP and Township of Southgate OP, and zoned EP in the Township of Southgate Zoning By-law.

Based on the drawing submitted with the application, the existing and proposed areas to be rezoned will not be within the EP zone or Hazard Land Area designation.

Section 5.5.2 of the Southgate OP and Section 7.2.3 of the Grey County OP state in part that buildings and structures are generally not permitted in the Hazard Lands land use type. Based on the drawing submitted with the proposal, the proposal would be consistent with the Southgate OP and Grey County OP.

### **Conservation Authorities Act and O. Regulation 41/24**

Within SVCA's regulated areas and in accordance with the CA Act and O. Regulation 41/24, a permit from the SVCA is required to change or interfere with watercourses or wetlands and for development activities in or adjacent to hazardous lands, wetlands, river or stream valleys, Great Lakes and inland lake shorelines. When reviewing an application, SVCA staff must assess the proposal for impacts to the control of flooding, erosion, dynamic beaches, or unstable soil or bedrock, and ensure the activity will not create conditions or circumstances that, in the event of a natural hazard, might jeopardize the health or safety of persons or result in the damage or destruction of property. Provided staff are satisfied the proposal is consistent with SVCA's policies, designed to mitigate these risks, a permit can be issued.

To determine the SVCA Approximate Regulated Area on the property, please refer to the SVCA's online mapping, available via SVCA's website

<https://camaps.maps.arcgis.com/apps/webappviewer/index.html?id=f0ec744c8d6d4e499895aaaab3d83761>.) Should you require assistance, please contact our office directly.

#### **SVCA Permit**

Based on the drawing submitted with the application, the area to be rezoned will not be located within the SVCA Approximate Screening Area, therefore a permit from the SVCA is not required for development as proposed.

#### **Drinking Water Source Protection**

The subject property appears to SVCA staff to not be located within an area that is subject to the local Drinking Water Source Protection Plan.

#### **Summary**

SVCA staff have reviewed the proposal for consistency with SVCA's policies made in conformance with the Provincial Planning Statement, CA Act, O. Regulation 41/24, and associated provincial guidelines. Where a Memorandum of Agreement (MOA) exists between a planning partner and the SVCA, staff have reviewed the application for conformity with the natural hazard policies of the applicable Municipality or County.

Given the above comments, it is the opinion of the SVCA staff that:

- 1) Consistency with the Natural Hazard policies of the PPS, Chapter 5 has been demonstrated.
- 2) Consistency with local planning policies for natural hazards has been demonstrated.



C2-25

March 19, 2025

Page 4 of 4

Please inform this office of any decision made by the planning approval authority regarding the application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

Should you have any questions, or require this information in an accessible format, please contact the undersigned.

Sincerely,

Michael Oberle  
Environmental Planning Technician  
Saugeen Conservation  
MO/

cc: Allen SM Martin, agent (via email)  
Jessica Conroy, Resource Planner, GRCA (via email)  
Barbara Dobreen, Authority Member, SVCA (via email)



**The Corporation of  
The Township of Southgate**

**Application for Planning Amendment  
Official Plan and Zoning By-law**

**\*\* Pre-consultation is required with the Township before any zoning or official plan amendment applications will be accepted (By-law 66-2012)\*\***

**Instructions:**

- Please check all applicable boxes and answer all applicable questions.
- All measurements MUST be in metric units. (Imperial Units will not be accepted)
- Additional information may be attached if necessary.
- Incomplete applications will be returned.
- The Township reserves the right to ask for more information or clarification pertaining to this application at a later time.
- Further information is on the last two pages for your reference.
- Applications are not accepted without the required fees

<u>For office use only</u>
File no: <u>C5-25</u>
Pre-Consult Date: <u>Jan 31/25</u>
Date received: <u>Feb 12/25</u>
Date accepted: _____
Accepted by: _____
Roll # 42 07 <u>090 005 08703</u>
Conservation authority fee required: <u>SVCA</u>
Other information: _____
_____

Pursuant to one or more of the following Sections 22, 34, 36, and/or 39 of the *Planning Act*, as amended, I/we apply for: (check appropriate box)

<b>Pre- Consultation Fee</b>	<b>\$510.00</b>
<b>Amendment to the Official Plan</b>	Minor \$4,080.00 application fee <i>plus</i> \$4,000.00 contingency fee Major \$6,630.00 application fee <i>plus</i> \$6,000.00 contingency fee
<b>Amendment to the Zoning By-law</b>	<b>\$2,950.00 application fee</b> Complex \$4,080.00 application fee <i>plus</i> \$5,000.00 contingency fee
<b>Removal of Holding Provision</b>	\$1,020.00 application fee or \$612.00 application fee (with related Site Plan Agreement)
<b>Temporary Use By-Law Amendment</b>	\$1,707.00 application fee <i>plus</i> \$408.00 agreement fee <i>plus</i> \$2,500.00 contingency fee
<b>Other Required Fees:</b>	
<b>Public Notice Sign Fee</b>	<b>\$148.00</b>
<b>Conservation Authority Fee</b>	<b>\$260.00</b> Saugeen Valley Conservation Grand River Conservation – Call directly for details
<b>County of Grey Municipal Review Fee</b>	<b>\$400.00</b>

\*Contingency fee required for all Official Plan Amendment applications

\*Contingency fee required only for Major Zoning By-law Amendment applications

**PAID**

**Note on fees:**

It is a requirement that any potential applicant pre-consult with the Planning Department prior to submitting any planning application. For the pre consultation meeting, please provide a drawing or a sketch of your proposal, accompanied by a written description.

The application fees were adopted and approved under the Township of Southgate's fees and charges By-law and will only be accepted once the application is deemed complete by the Township of Southgate Planning Department.

All required application fees shall be paid in cash or by cheque made payable to the Township of Southgate.

Contingency fees will be utilized to cover costs associated with this application when deemed necessary by the Township of Southgate, i.e. professional consultants and legal advice. Any portion of the contingency fee not used in connection with the review and completion of an application will be returned. The applicant further agrees to pay any additional costs and expenses beyond the initial contingency fee which shall be determined by staff of the Corporation of the Township of Southgate in the event that the amount of the initial contingency fee taken is insufficient.

Be advised that the applicant or a representative is expected to appear at any meetings (including the public meeting) to explain the proposal and answer any questions that may arise. Failure to do so may result in deferral of the application and increased costs.

Part A

Owner/Agent/Application Information

\*To be completed by the applicant

1. Name of registered owner: Ian S Martin

Mailing address: [redacted]

Phone#: (H) [redacted] (B) [redacted]

Email Address: [redacted]

2. Name of applicant:

Mailing address:

Phone#: Email:

Applicant's Relationship to Subject Lands:

- Registered Property Owner
Holder of Option to Purchase Subject Lands
Signing Officer of Corporation
Other [Specify]

3. Name of agent (if applicable)

Mailing address: Solomon Martin

Phone#: [redacted] Email: [redacted]

Send all correspondence to (choose only one): Applicant Agent

Preferred Method of communication: Phone email Postal Mail

Name any mortgages, charges or encumbrances, in respect to the subject lands:

Mailing Address: 1730 Chamers Forrest Rd RR#2Wellesley On N0B2T0

Phone#: 519-502-3725

Part B

The Subject Lands

4. Location of subject property (former municipality):

- Township of Egremont Township of Proton Village of Dundalk

Road/street and number: 712507 Southgate SRD 71

Tax Roll#: 420709000508703

Lot LOT 217;PT LOT 216 Concession PROTON CON 4 SWTSR

Lot of Plan RP 16R11841 PART;1

5. The date the subject land was acquired by the current owner: 2013

**6. Dimensions of subject property:**

frontage 329m m depth 1010m m area 40 ha sq m/ha

**7. Description of the area affected by this application if only a portion of the entire property** this proposal is to rezone a small portion of this farm to permit an OFDU

to help support a family farm

**8. Abutting and nearby lands uses**

a. Interest in abutting lands - does the owner or applicant of the subject lands own or have a legal interest in any lands abutting the subject lands? Yes  No

If yes, describe to what extent owns parcel to the south

b. Use of abutting and nearby lands - describe the present use on all properties abutting and opposite the subject lands.

North agriculture East agriculture  
South agriculture West agriculture

c. Agricultural livestock operations

if an existing livestock operation is located within 450 metres of the subject lands, prepare a sketch showing locations and approximate size of livestock barns (as per Additional Requirements 20. (b) request) and you must fill out Schedule "A".

**9. Environmental Constraints**

Indicate whether any of the following environmental constraints apply to the subject lands:

- |                                   |                                     |  |                          |
|-----------------------------------|-------------------------------------|--|--------------------------|
| Wetlands                          | <input type="checkbox"/>            | Specialty Crop Lands                             | <input type="checkbox"/> |
| Floodplains                       | <input type="checkbox"/>            | ANSI's (areas of natural or scientific interest) | <input type="checkbox"/> |
| Streams, Ravines and Lakes        | <input type="checkbox"/>            | Aggregate Resources                              | <input type="checkbox"/> |
| Water Resources                   | <input type="checkbox"/>            | Thin Overburden                                  | <input type="checkbox"/> |
| Wooded Areas & Forest Management  | <input checked="" type="checkbox"/> | Solid Waste Management                           | <input type="checkbox"/> |
| Fisheries, Wildlife & Environment | <input type="checkbox"/>            | Sewage Treatment Plant                           | <input type="checkbox"/> |
| Heritage Resources                | <input type="checkbox"/>            |  |                          |

**10. Official Plan**

Indicate the current Official Plan Designation:

- |                     |                          |                                       |                                     |
|---------------------|--------------------------|---------------------------------------|-------------------------------------|
| Neighbourhood Area  | <input type="checkbox"/> | Agriculture                           | <input type="checkbox"/>            |
| Downtown Commercial | <input type="checkbox"/> | Rural                                 | <input checked="" type="checkbox"/> |
| Arterial Commercial | <input type="checkbox"/> | Inland Lakes                          | <input type="checkbox"/>            |
| Industrial          | <input type="checkbox"/> | Space Extensive Industrial/Commercial | <input type="checkbox"/>            |
| Public Space        | <input type="checkbox"/> | Hazard Lands                          | <input checked="" type="checkbox"/> |
| Special Policy Area | <input type="checkbox"/> | Wetlands                              | <input type="checkbox"/>            |
| Major Open Space    | <input type="checkbox"/> | Mineral Aggregate Extraction          | <input type="checkbox"/>            |
| Village Community   | <input type="checkbox"/> |                                       |                                     |

**11. Zoning By-law**

Present zoning A1 , EP ,

Requested zoning A1 , EP , A1-XXX

**12. Specific proposed use(s) of subject property that this amendment would authorize: (provide a sketch showing locations and approximate size for each building or structure).** \*If proposal is for an On Farm Diversified Use, please specify use (metal works, woodworking) and include Building Code Occupation Classification:

this proposal is to allow for a small scale dry manufacturing shop on the property which will be doing woodworking, this shop is clasified as F3 in the OBC truck traffic expected to be minimal and runs from 7 to 7 weekdays closed on Sundays and Statutory Holidays

Type of building/structure: metal clad truss building with block walls

Setbacks:

Front lot line: 418.66 m Rear lot line: 565m

Side lot line: 107.41m

Building structure:

Height: 9.5m Dimensions/Floor Area: 750m2

The date the existing building(s) or structure(s) on the subject land were constructed: no buildings on this parcel yet, wants to build in 2025

The length of time that the existing uses of the subject land have continued: Type text here

If proposed use is residential, indicate proximity of subject lands to community facilities (parks, schools, etc.):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**For Official Plan Amendment Applications Only (13 - 18):**

**13. Please answer the following about this proposed Official Plan Amendment:** Does this application change or replace a designation in the Official Plan?

Changes  Replaces

**14. Is this application to implement an alteration to the boundary of an area of settlement or to implement a new area of settlement?**

Yes  No

If yes, please provide the details of the official plan or the official plan amendment that deals with this matter.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**15. Does this application propose to remove land from an area of employment?**

Yes  No

If yes, please provide the details of the official plan or official plan amendment that deals with this matter.

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**16. Is the application being submitted in conjunction with a proposed County Official Plan Amendment?** Yes  No

If yes, please provide the details of the official plan or official plan amendment that deals with this matter.

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**17. Specific reason(s) for requesting amendment(s), if not sufficient space, a cover letter should be attached:**

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**18. Has the subject land ever been the subject of a Zoning By-law Amendment?** Yes  No  Unknown

If yes, and if known, specify the file number and status of the application:

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**Servicing for Subject Land**

**19. Facilities existing or proposed for subject lands:**

<b>Type of Access:</b>	<b>Existing</b>	<b>Proposed</b>
<input type="checkbox"/> Provincial Highway	_____	_____
<input checked="" type="checkbox"/> Municipal Road, maintained year-round	✓ _____	_____
<input type="checkbox"/> Municipal Road, seasonally maintained	_____	_____
<input type="checkbox"/> Other Public Road	_____	_____
Please Specify: _____	_____	_____

<b>Type of Water Supply:</b>	<b>Existing</b>	<b>Proposed</b>
<input type="checkbox"/> Municipally operated piped water system	_____	_____
<input checked="" type="checkbox"/> Privately owned/operated individual well	_____	✓ _____
<input type="checkbox"/> Privately owned/operated communal well	_____	_____
<input type="checkbox"/> Lake or other body of water	_____	_____
Please Specify: _____	_____	_____
<input type="checkbox"/> Other Means	_____	_____
Please Specify: _____	_____	_____

<b>Type of Storm Water Management:</b>	<b>Existing</b>	<b>Proposed</b>
<input type="checkbox"/> Storm drainage sewer pipe	_____	_____
<input type="checkbox"/> Ditch	_____	_____
<input type="checkbox"/> Swale	_____	_____
<input checked="" type="checkbox"/> Other Means	_____	_____
Please Specify: <u>sheet flow</u>		

<b>Type of Sewage Disposal:</b>	<b>Existing</b>	<b>Proposed</b>
<input type="checkbox"/> Municipally operated sanitary system	_____	_____
<input checked="" type="checkbox"/> Privately owned/operated individual septic	_____	_____ ✓
<input type="checkbox"/> Privately owned/operated communal septic	_____	_____
<input type="checkbox"/> Privy	_____	_____
<input type="checkbox"/> Other Means	_____	_____
Please Specify: _____		

**20. Is there an approved Site Plan and/or a Site Plan Control Agreement in effect on any portion of the subject lands?**

Yes  No

If yes, has an amendment to the Site Plan and/or Agreement been applied for?

Yes  No

**21. Are there any easements, rights-of-way, restrictions, covenants, or other agreements applicable to the subject lands? (if yes, describe what they are and include applicable Site Plan if applicable.)**

Yes  No

**Part C  
The Proposal**

**22. Describe the nature and extent of the relief applied for and the proposed use of the subject lands.**

\_\_\_\_\_ this application is to rezone a small portion of this property to allow for a  
small scale shop for woodworking  
\_\_\_\_\_

**23. Describe the reasons for the proposed amendment(s).**

\_\_\_\_\_ permitted within the official plan but not permitted as of right in the zoning bylaw yet  
\_\_\_\_\_

**24. Describe the timing of the proposed development, including phasing.**

\_\_\_\_\_ wants to build this set of buildings in 2025  
\_\_\_\_\_

**25. Additional Supporting Documents**



List any supporting documents: (e.g. Environmental Impact Study, Hydrologic Report, Traffic Study, Market Area Study, Aggregate License Report, Storm Water Management Report)

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**Part D**  
**Statement of compliance**

**26. Is this application consistent with the policy statements issued under subsection 3(1) of the Planning Act?**

Yes  No

**27. Is the subject land within an area of land designated under any provincial plan or plans?**

Yes  No

If yes, explain how the application conforms with or does not conflict with the applicable provincial plan or plans.

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**Additional requirements**

**28. Supplementary and support material to accompany application, where applicable**

a) a survey of the property prepared by an Ontario Land Surveyor indicating topographical contours and other natural and artificial features such as existing buildings and their uses, railways, highways, pipelines, ditches, swamps, watercourses, drainage, and wooded areas within or adjacent to the subject land. This survey should clearly indicate the land which is the subject of the amendment.

OR

b) a sketch *drawn to scale* showing the following:

- 1) Boundaries and dimensions of the subject land.
- 2) Location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- 3) Approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditch, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- 4) Current use(s) on land that is adjacent to the subject land.
- 5) Location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right of way.
- 6) If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- 7) Location and nature of any easement affecting the subject land.
- 8) North Arrow

Other information

**29. Is there any other information that you think may be useful to the municipality or other agencies in reviewing the application? If so, explain below or attach on a separate page:**

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**Part E**  
**Authorization and affidavit**

**30. Owner's Consent (Freedom of Information):**

In accordance with the provision of the Planning Act, it is the policy of the Municipality to provide public access to all development applications and supporting documentation.

In submitting this development application and supporting documents I (we),

Ian S Martin and \_\_\_\_\_  
Name of Owner(s)

hereby acknowledge the above-noted and provide my (our) consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, as well as commenting letters of reports issued by the municipality and other review agencies will be part of the public record and will also be available to the general public.

[Redacted Signature] \_\_\_\_\_ 02-10-2025  
Signature of Owner Date

\_\_\_\_\_  
Signature of Owner Date

**31. Owner's Authorization for Agent**

I (we), Ian S Martin and \_\_\_\_\_  
Name of Owner(s)

hereby authorize Solomon Martin to act as our agent(s) for the purpose of this application.

[Redacted Signature] \_\_\_\_\_ 02-10-2025  
Signature of Owner Date

\_\_\_\_\_  
Signature of Owner Date

**32. Owner's Authorization for Access**

I/we, Ian S Martin, and \_\_\_\_\_  
Name of Owner(s)

hereby permit Township staff and its representatives to enter upon the premises during regular business hours for the purpose of performing inspections of the subject property.

[Redacted Signature] \_\_\_\_\_ 02-10-2025  
Signature of Owner Date

\_\_\_\_\_  
Signature of Owner Date

[Redacted Signature] \_\_\_\_\_ 02-10-2025  
Signature of Witness Date

**Solemn declaration**

**33. Affidavit**

To be completed by owner(s), agent(s), or applicant(s) having completed the application form

**Note: This Affidavit must be signed in the presence of a Commissioner for Taking Oaths.**

I/ (We) Salomon Martin  
Name(s)

of the Township of Wellesley in the County of Grey  
(city/town/municipality) (county/region)

Solemnly declare that all statements contained in this application and all the information provided is true, and I/we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the:

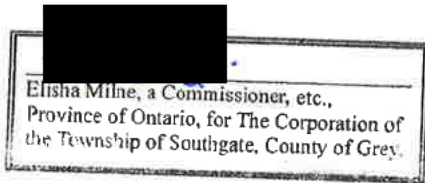
Township of Southgate in the County of Grey  
(city/town/municipality) (county/region)

This 12 day of February, 2025

  
Signature of Commissioner

  
Signature of Applicant

Salomon Martin  
Name (please print)



Schedule "A"

Supplementary Information – Agricultural Lands

Agricultural Property History on the subject parcel

(i) What type of farming has been or is currently being conducted?

Beef

Dairy

Swine

Poultry

Sheep

Cash Crop

Other (describe) \_\_\_\_\_

Describe in detail the size, age and feed type used for the type of farming conducted: \_\_\_\_\_

(i) How long have you owned the farm? 2013

(ii) Are you actively farming the land (or – do you have the land farmed under your supervision)?

Yes – For how long?

2013

No – When did you stop farming? \_\_\_\_\_

For what reason did you stop farming? \_\_\_\_\_

(iii) Area of total farm holding: 40 ha

(iv) Number of tillable hectares: \_\_\_\_\_

(v) Do you own any other farm properties?  Yes  No

If yes, indicate locations: Lot: 218 & 219/ lot 35 Concession: 4 con 14

Former Township: Proton

Total Hectares: 40 40 ha

(vi) Do you rent any other land for farming purposes?  Yes  No

If yes, indicate locations: Lot: \_\_\_\_\_ Concession: \_\_\_\_\_

Former Township: \_\_\_\_\_

Total Hectares: \_\_\_\_\_

(vii) Is there a barn on the subject property?  Yes  No

Please indicate the condition of the barn: \_\_\_\_\_

How big is the barn? \_\_\_\_\_

What is the present use of the barn? \_\_\_\_\_

What is the capacity of the barn, in terms of livestock? \_\_\_\_\_

- (viii) Indicate the manure storage facilities on the subject lands
- Storage already exists
  - No storage required (manure/material is stored for less than 14 days)
  - Liquid
    - inside, underneath slatted floor
    - outside, with permanent, tight fitting cover
    - (treated manure/material) outside, no cover
    - outside, with a permanent floating cover
    - outside, no cover, straight-walled storage
    - outside, roof but with open sides
    - outside, no cover, sloped-sided storage
  - Solid
    - inside, bedded pack
    - outside, covered
    - outside, no cover, >= 30% DM
    - outside, no cover, 18-30% DM, with covered liquid runoff storage
    - outside, no cover, 18-30% DM, with uncovered liquid runoff storage
- (ix) Are there any barns on other properties within 450 meters (1,476.38 ft) of the subject lands?  Yes  No

If yes, these barns and distances to the subject property must be shown on the sketch. The following questions must be answered for each property containing a barn regardless of current use.

(x) What type of farming has been conducted on this other property?

sow barn

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(xi) Indicate the number of tillable hectares on other property: 30

(xii) Indicate the size of the barn(s): 997m<sup>2</sup>

(xiii) Capacity of barn in terms of livestock: 250 sows

(xiv) Manure Storage facilities on other property (see storage types listed in question above)

slatted underneath floor, liquid

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Additional information will be required for Minimum Distance Separation (MDS) calculations – please discuss this with Planning Staff prior to submitting your application

## Zoning amendment process

**Purpose:** a zoning by-law amendment is required to change a zone symbol on a property to permit expanded or different land uses on a specific property. A zoning by-law amendment may also be requested to change a zone provision (setback or similar regulation) or general provision.

**Process:** Discuss your proposal with the municipal planning department prior to submitting your application. Make your application to the planning department along with the required fee. A planning staff report will be prepared and a public meeting will be set. The applicant will be advised of the time and date of this meeting and invited to make representation at this time in order to explain why the zoning amendment request is being made.

You can expect a decision on your application within 150 days. This time is used to review the application, set up a public meeting, post the required public notice, draft a zoning by-law amendment and ensure that all other required documentation is in order.

At least 20 days prior to the public meeting, notice of the public meeting is either sent to every assessed property within 120 metres (400 feet) of the subject property or a notice is placed in the appropriate local newspaper. The applicant or a representative must attend the public meeting to explain why the zoning amendment is required to members of the Council and the public, as well as answer any questions that may arise.

A site plan and agreement may be required to be negotiated prior to any further proceedings of the rezoning process. Following the public meeting and if Council is satisfied with the application, an amending by-law will be considered by Council. Should the by-law be passed, a notice of passing is prepared and sent to everyone on the first mailing list or published in the newspaper. A 20 day appeal period is required to be included in this notice to allow anyone to appeal the by-law to the Ontario Municipal Board.

Should your application not be approved by Council, you also have the right to appeal to the Local Planning Appeals Tribunal within the same 20 day appeal period. More information is available by contacting the municipal planning department or on the Web at: <http://elto.gov.on.ca/news/local-planning-appeal-tribunal/>

If the application is approved and no appeal is filed, a notice of no appeal is prepared and sent to the applicant at which time the process is now completed. A building permit would not be available for any works associated with the by-law until the appeal period has passed and if no appeals were filed.

### Zoning by-law amendment process summary

1. Pre-consultation (required by By-law 66-2012)
2. Submit application
3. Clerk sets a public meeting  
Notice sent to neighbours within 120 metres (400 feet) and various agencies, 20 days prior to public meeting.
4. Public meeting  
Applicant and/or agent should attend to resolve any potential concerns. Council will consider the proposal and may pass a by-law that meeting.
5. Appeal period  
After a Notice of Passing for the by-law amendment is sent to neighbours within 120 metres (400 feet) and agencies, 20 day appeal period begins.
6. Decision final  
If not appeal is filed with the Township within the appeal period, the process is complete and the zoning by-law amendment is in full force and effect.

\*\*\*please do not return this page\*\*\*


# 4. Zoning Amendment, OPA, Temp use, Removal of Holding Planning Application - 2025 Ian SM #2


Final Audit Report


2025-02-11

Created:	2025-02-10
By:	Solomon Martin (kingwoodplating@live.ca)
Status:	Signed
Transaction ID:	CBJCHBCAABAAiNXRBix1rHwtgl11sUkraz4DDWN-yF58


## "4. Zoning Amendment, OPA, Temp use, Removal of Holding Planning Application - 2025 Ian SM #2" History


 Document created by Solomon Martin (kingwoodplating@live.ca)  
2025-02-10 - 8:27:31 PM GMT

 Document emailed to imartin6533@gmail.com for signature  
2025-02-10 - 8:28:42 PM GMT

 Email viewed by imartin6533@gmail.com  
2025-02-11 - 0:01:00 AM GMT

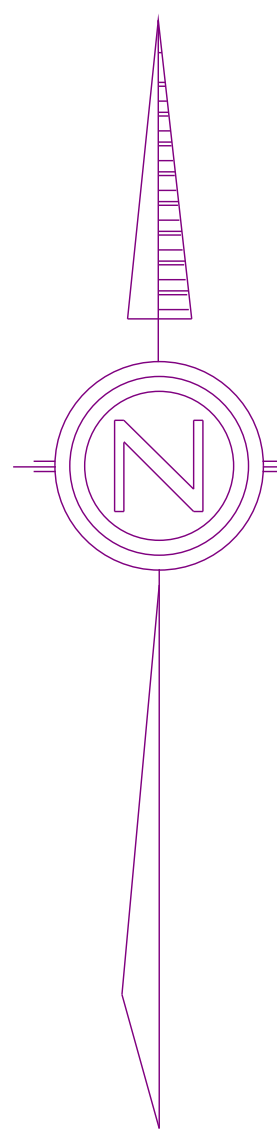
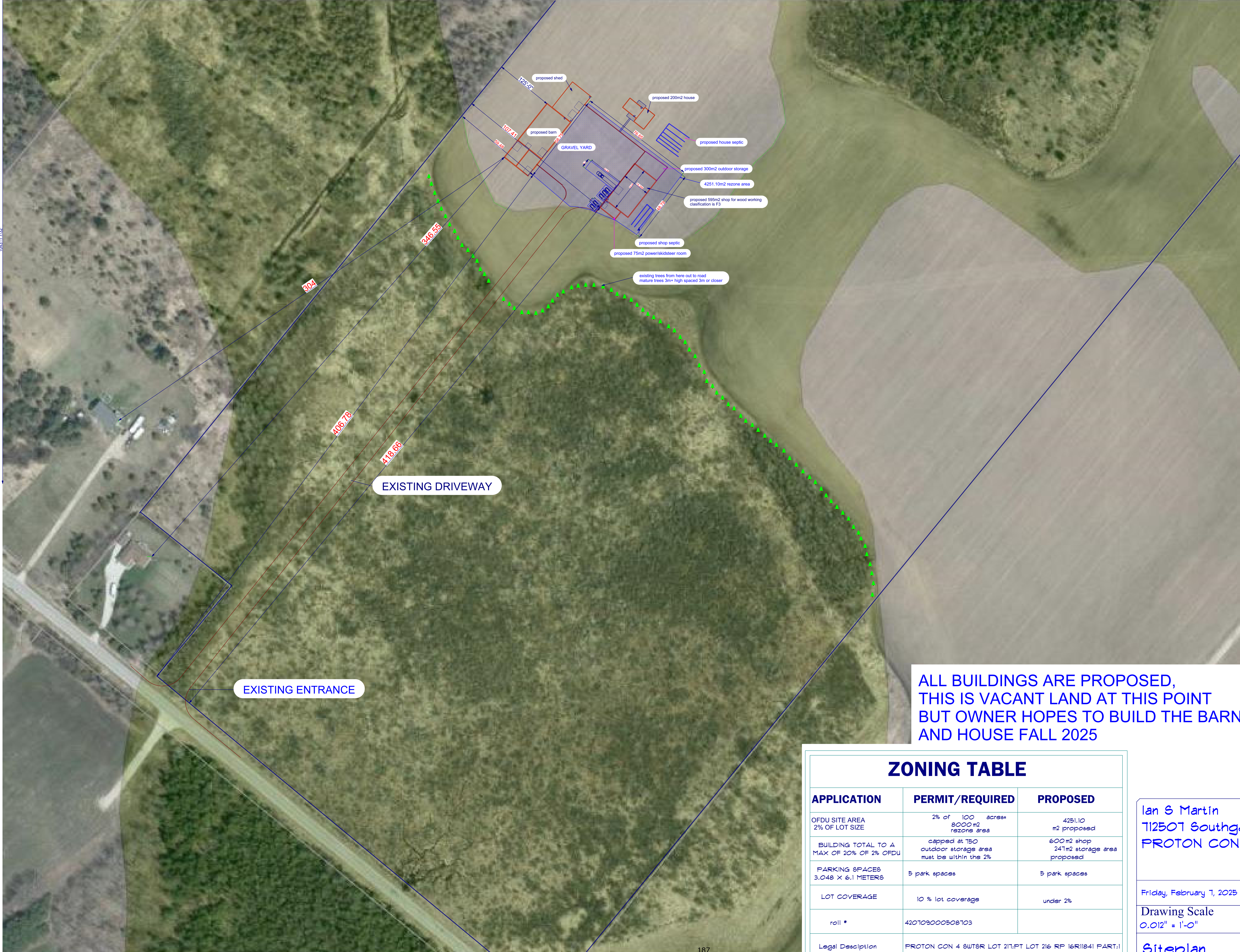
 Signer imartin6533@gmail.com entered name at signing as ISM  
2025-02-11 - 0:03:39 AM GMT

 Document e-signed by ISM (imartin6533@gmail.com)  
Signature Date: 2025-02-11 - 0:03:41 AM GMT - Time Source: server

 Agreement completed.  
2025-02-11 - 0:03:41 AM GMT



15/03/24 7:32P



ALL BUILDINGS ARE PROPOSED,  
THIS IS VACANT LAND AT THIS POINT  
BUT OWNER HOPES TO BUILD THE BARN  
AND HOUSE FALL 2025

### ZONING TABLE

APPLICATION	PERMIT/REQUIRED	PROPOSED
OFDU SITE AREA 2% OF LOT SIZE	2% of 100 acres = 8000 m2 rezone area	4251.10 m2 proposed
BUILDING TOTAL TO A MAX OF 20% OF 2% OFDU	capped at 150 outdoor storage area must be within the 2%	600m2 shop 247m2 storage area proposed
PARKING SPACES 3.048 X 6.1 METERS	5 park spaces	5 park spaces
LOT COVERAGE	10 % lot coverage	under 2%
roll #	420709000508703	
Legal Description	PROTON CON 4 SWTSR LOT 217:PT LOT 216 RP 16R11841 PART:1	

Ian S Martin  
712507 Southgate SRD 71  
PROTON CON 4 SWTSR LO

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Friday, February 7, 2025

Drawing Scale 0.012" = 1'-0"	Drawn by: SMM
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Siteplan





proposed shop

proposed power room

LOADING

garbage bin

outdoor storage

concrete pad

existing trees

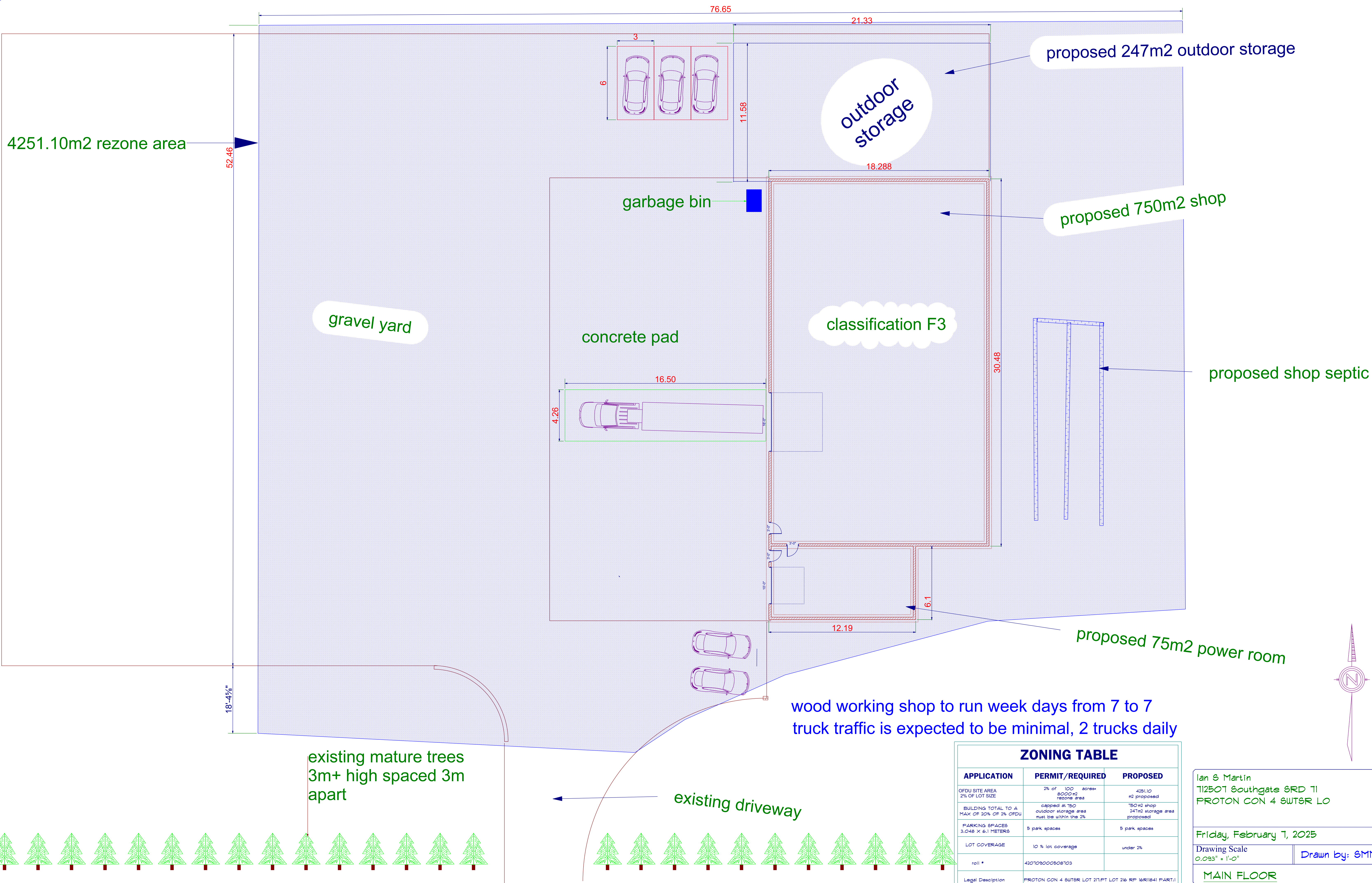
existing driveway

gravel yard

IAN S MARTIN  
712507 SOUTHGATE SDRD 71  
PROTON CON 4 SWTSR LOT 217;PT LOT 216  
RP 16R11841 PART;1



4251.10m2 rezone area



ZONING TABLE		
APPLICATION	PERMIT/REQUIRED	PROPOSED
OFDU SITE AREA 2% OF LOT SIZE	2% of 100 acres 8000m2 rezone area	4251.10 m2 proposed
BUILDING TOTAL TO A MAX OF 20% OF 2% OFDU	capped at 150 outdoor storage area must be within the 2%	150m2 shop 247m2 storage area proposed
PARKING SPACES 3.048 X 6.1 METERS	5 park spaces	5 park spaces
LOT COVERAGE	10 % lot coverage	under 2%
roll #	420709000508703	
Legal Description	PROTON CON 4 BUTSR LOT 21/PT LOT 21/ RP 16/R11841 PART:1	

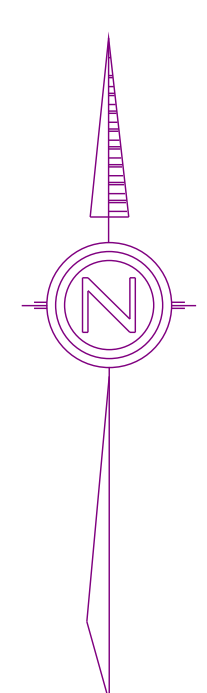
Ian S Martin  
712507 Southgate SRD 71  
PROTON CON 4 BUTSR LO

Friday, February 7, 2025

Drawing Scale  
0.033" = 1'-0"

Drawn by: SMM

**MAIN FLOOR**





MDS II


General information

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**Application date**  
Feb 7, 2025

**Municipal file number**  
ARN 420709000508703

**Applicant contact information**  
Ian S Martin  
712507 Southgate SRD 71  
Southgate , ON

**Location of subject livestock facilities**   
County of Grey  
Township of Southgate  
PROTON  
Concession PROTON CON 4 SWTSR LOT 217;PT LOT 216 RP 16R11841  
Roll number: 420709000508703

## Calculations

### proposed barn for ZBA process

#### Livestock/manure summary

Manure Form	Type of livestock/manure	Existing maximum	Total after alteration	Estimated livestock barn area
Solid	Beef, Feeders (7 - 16 months), Yard/Barn	0 (0 NU)	120 (40 NU)	502 m <sup>2</sup>
Solid	Horses, Medium-framed, mature; 227 - 680 kg (including unweaned offspring)	0 (0 NU)	6 (6 NU)	139 m <sup>2</sup>

#### Setback summary

Existing manure storage	V2. Solid, outside, covered
Existing design capacity	0 NU
Design capacity after alteration	46 NU
Factor A (odour potential)	0.79
Factor C (orderly expansion)	1.14
Factor B (design capacity)	252
Factor D (manure type)	0.7

Building base distance 'F' (A x B x C x D)  
(minimum distance from livestock barn) 159 m (522 ft)

Storage base distance 'S'  
(minimum distance from manure storage) 159 m (522 ft)

#### Setback distance summary

Description	Building setbacks		Storage setbacks	
	Minimum	Actual	Minimum	Actual
Type A land uses	159 m (522 ft)	304 m (997 ft)	159 m (522 ft)	304 m (997 ft)
Type B land uses	318 m (1043 ft)	NA (Not available)	318 m (1043 ft)	NA (Not available)
Nearest lot line (side or rear)	16 m (52 ft)	NA (Not available)	16 m (52 ft)	NA (Not available)
Nearest road allowance	32 m (104 ft)	NA (Not available)	32 m (104 ft)	NA (Not available)

#### Preparer signoff & disclaimer

Preparer contact information  
Solomon Martin  
Kingwood Industries Inc.

[Redacted signature area]

Signature of preparer

[Redacted signature]

02-07-2025

Solomon Martin

Date (mmm-dd-yyyy)

**Note to the user**

The Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) has developed this software program for distribution and use with the Minimum Distance Separation (MDS) Formulae as a public service to assist farmers, consultants, and the general public. This version of the software distributed by OMAFRA will be considered to be the official version for purposes of calculating MDS. OMAFRA is not responsible for errors due to inaccurate or incorrect data or information; mistakes in calculation; errors arising out of modification of the software, or errors arising out of incorrect inputting of data. All data and calculations should be verified before acting on them.

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## The Corporation of the Township of Southgate Notice of Public Meeting and Complete application Concerning a Proposed Zoning By-law Amendment

**Take Notice** that the Council of the Corporation of the Township of Southgate has received a complete application for a Zoning By-law Amendment and is notifying the public pursuant to Section 34 of the Planning Act, R.S.O. 1990, as amended. Council will hold a **public meeting** on:

**March 26, 2025, at 10:30 AM**

in the Council Chambers located at 123273 Southgate Road 12, Holstein Ontario NOG 2A0 **and** electronically via Zoom to consider the proposed by-law amendment.

Please join the electronic public meeting from your computer, tablet, or smartphone <https://zoom.us/j/93016816575?pwd=YLHCA6NxNh2CAbI1QTsbT3Qg1F8o1b.1>

You can also dial in using your phone. Phone: +1 647 374 4685 Meeting ID: 930 1681 6575 Passcode: 510279

**NOTE:** To speak at the meeting or join electronically, please register in advance by contacting the Clerk, Lindsey Green using the contact information below:

[lgreen@southgate.ca](mailto:lgreen@southgate.ca) or **519-923-2110 ext. 230**

The meeting will be livestreamed on the Township YouTube Channel: <https://www.youtube.com/user/SouthgateTownship>

**The Purpose** of the proposed rezoning is to permit an on farm diversified use (dry manufacturing – woodworking) on the subject lands within a proposed +-4252 square metre zoned area. The proposed workshop and skid steer power room would have a maximum combined area of +-625 square meters with +-300 square meters of outdoor storage. The on farm diversified use would be operated secondary to proposed farmhouse, shed and barn.

**The Effect** of proposed rezoning would be to permit an on farm diversified use (dry manufacturing – woodworking) shop and skid steer and outdoor storage associated with a proposed farm house, shed and barn.

### **Description of the Subject Land (C5-25)**

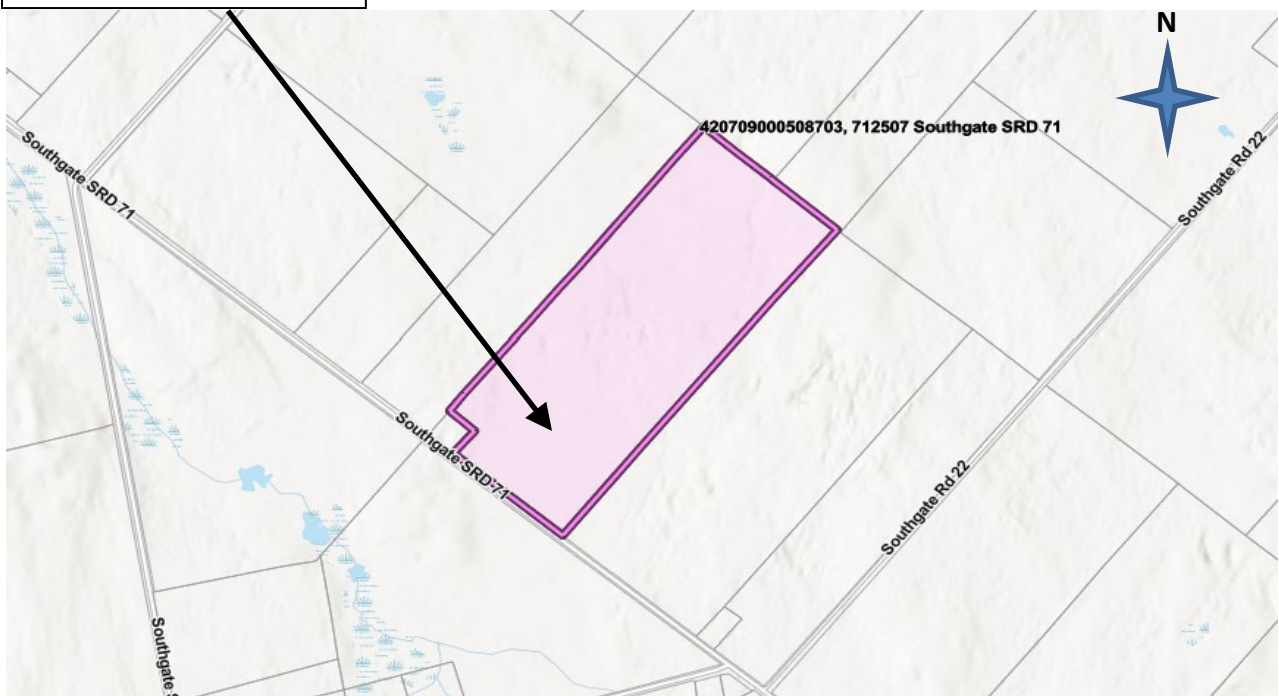
**Registered Owner:** Ian and Perseda Martin

**Legal Description:** Con 4 SWTSR Lot 217, Pt Lot 216 RP 16R11841 Part 1, Geographic Township of Proton, Township of Southgate

**Civic Address:** 712507 Southgate Sideroad 71

### **Key Map**

**SUBJECT LAND**



**Any person or public body** is entitled to attend the public meeting and make written or oral submissions in support of, or in opposition to, the proposed zoning by-law amendment. Persons wishing to make an oral submission to Council at the public meeting are invited to register with the Township Clerk (see contact information below). Written comments should also be addressed to the Clerk at the address below. **Please note that all submissions and the personal information contained therein will become part of the public record in their entirety and may be posted to Southgate's website.**

**Mandatory wording**

**If** you wish to be notified of the decision of Township of Southgate Council on the proposed zoning by-law amendment, you must make a written request to the Clerk of the Township of Southgate, 185667 Grey Rd 9, Dundalk, ON N0C 1B0.

**If** a person or public body would otherwise have an ability to appeal the decision of the Township of Southgate Council to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Southgate before the by-law is passed, the person or public body is not entitled to appeal the decision.

**If** a person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Southgate before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Notwithstanding the above subsection 34(19) of the Planning Act defines the parties eligible to appeal the decision to the Ontario Land Tribunal.

**Additional Information and Comments**

Please submit written comments to the Clerk at the address shown below. Lindsey Green, Clerk, [lgreen@southgate.ca](mailto:lgreen@southgate.ca), Phone: (519) 923-2110 ext. 230. Township of Southgate 185667 Grey Rd 9, Dundalk, ON N0C 1B0

Additional information is also available for public viewing on Southgate's website at <https://www.southgate.ca/municipal-services/planning-and-land-use/planning-applications-and-public-notices/> , at the Township of Southgate Administration Office during normal business hours, or by contacting the Municipal Planner at 519-923-2110 ext. 235. Please quote file: **C5-25**

Dated at the Township of Southgate, this 28<sup>th</sup> day of February 2025





# Planning and Development

595 9<sup>th</sup> Avenue East, Owen Sound Ontario N4K 3E3  
519-372-0219 / 1-800-567-GREY / Fax: 519-376-7970

March 17<sup>th</sup>, 2025

Elisha Milne  
Township of Southgate  
185667 Grey Road 9  
Dundalk, ON  
N0C 1B0

**RE: Zoning By-law Amendment C5-25  
Concession 4 SWTSR, Lot 217, Part Lot 216, RP 16R11841 Part 1 (712507  
Southgate Sideroad 71)  
Township of Southgate (Geographic Township of Proton)  
Roll: 420709000508703  
Owner: Ian and Perseda Martin  
Applicant: Solomon Martin**

Dear Ms. Milne,

This correspondence is in response to the above noted application. We have had an opportunity to review the application in relation to the Provincial Planning Statement (PPS) and the County of Grey Official Plan (OP). We offer the following comments.

The purpose and effect of the subject application is to permit an on farm diversified use (dry manufacturing – woodworking) on the subject lands within a proposed +-4252 square metre zoned area. The proposed workshop and skid steer power room would have a maximum combined area of +-625 square meters with +-300 square meters of outdoor storage. The on farm diversified use would be operated secondary to proposed farmhouse, shed and barn. This would permit an on farm diversified use (dry manufacturing – woodworking) shop and skid steer and outdoor storage associated with a proposed farmhouse, shed and barn.

Schedule A of the County OP designates the subject lands as 'Rural'. Section 5.2.1(1) states,

*Permitted uses in the Agricultural land use type include:*

*c) On-farm diversified uses (See Table 7);*

In addition, Section 5.2.2(5) of the County OP states,

*MDS I will generally not be required for on-farm diversified uses, except where a municipality has required MDS to apply in their municipal official plan or zoning by-law.*

The proposed on-farm diversified use is permitted within the Rural designation. It is recommended that the use conform to MDS, if indicated within the municipality's Zoning By-Law.

Section 5.2.2 Table 8 states that the on-farm diversified use shall be,

*The lessor of: 2% of the total size of the property, or a maximum combined area of the use of 8,000 square metres.*

Further, Section 5.2.2(17) of the County OP states,

*The gross floor area of the buildings (combined total for all buildings associated with the on-farm diversified uses) shall not exceed 20% of the total area of the on-farm diversified use.*

The subject property is approximately 40 hectares in size which would permit a total area of 8,000 square metres to be used for the proposed OFDU, including all parking, loading, buildings, servicing, and outdoor storage. The gross floor area for any structures would be limited to 1,600 square meters. The applicant's proposed use will cover an area of 4,252 square metres and the proposed shop would be 625 square metres, both of which conform with the County OP; therefore, County Planning staff have no concerns.

Section 5.2.2(20) of the County OP states,

*Ministry of the Environment, Conservation and Parks (MECP) D-6 Guidelines, or any successor thereto, shall be considered for any new agricultural-related uses or on-farm diversified uses or an industrial nature in the Agricultural, Special Agricultural, or Rural land use types, to guide the separation of industrial uses from nearby dwellings, institutional uses, or other sensitive non-agricultural uses. Uses which are covered as normal farm practices by the Farming and Food Practices Protection Act (FFPPA) shall not be required to meet the D-6 Guidelines, provided they meet all required Provincial noise, air, water, and wastewater standards.*

Municipal staff shall review the applicability of the D-6 Guidelines to the proposed development.

Section 8.9.1(4) of the County OP states,

*The following hierarchy of water or sanitary servicing options will be used to evaluate any development applications within the County, except where specific exclusions are made through this Plan or where more detailed policies have been developed in a local official plan or secondary plan. The feasibility of the options will be considered in the following order of priority which will be assessed through a Servicing Options Study in accordance with the Ministry of the Environment, Conservation and Parks (MECP) D-5-3 Series Guidelines, or any subsequent update to these Guidelines:*

- d) Individual on-site sewage services and individual on-site water services in accordance with the policies contained in Section 8.9.1.*

From a general planning perspective, it should be ensured that the subject property can safely provide on-site water and sewage servicing.

Schedule A of the County OP indicates that the subject lands contain 'Hazard Lands'. The proposed development is located near the boundary of the Hazard Lands and the existing entrance is located within the Hazard Lands. Therefore, County Planning staff recommend receiving comments from the Conservation Authority to ensure that the property can be safely accessed and that the proposed development is located outside of the Hazard Lands.

County Planning Ecology staff have reviewed the subject application and have a comment stating,

*The subject property contains and/or is adjacent to potential 'Habitat of Threatened or Endangered Species', 'Other Identified Wetlands', 'Significant Woodlands', 'Significant Wildlife Habitat', potential 'Fish Habitat', and a 'Stream'. Additionally, the property is considered a Significant Groundwater Recharge Area. County staff have reviewed the proposal and based on the site plan, the proposed development will be within adjacent lands to the identified natural heritage features and within a previously disturbed area. As such, it is County staff's opinion that the potential impact to this feature would be negligible, and the requirement for an EIS can be waived.*

*Please note it is the applicant's responsibility to ensure the endangered and threatened species policy referred to in the PPS has been appropriately addressed – "Development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements". While the County is not supportive of development within Habitat of Threatened and/or Endangered Species, County staff are not the regulating authority under the Endangered Species Act. The*

*applicant is advised to contact the Ministry of Environment, Conservation and Parks (MECP) at [SAROntario@ontario.ca](mailto:SAROntario@ontario.ca) for further information on how to address this policy.*

*County ecology staff have no concerns with the application. If you have any questions or concerns regarding the above, please reach out to [ecology@grey.ca](mailto:ecology@grey.ca).*

Should the applicant seek to injure or destruct trees on lands that extend more than 15 metres from the outer edge of which a Building Permit has been issued, staff recommend consulting the County's Forestry Management By-law <http://grey.ca/forests-trails>. An exemption to the by-law includes the injuring or destruction of trees required in order to install and provide utilities to the construction or use of the building, structure or thing in respect of which a Building Permit has been issued.

Provided D-6 Guidelines can be addressed and positive comments are received from the Conservation Authority to ensure that the property can be safely accessed and that the proposed development is located outside of the Hazard Lands; County Planning staff have no concerns with the subject application.

The County requests notice of any decision rendered with respect to this file.

If you wish to discuss this matter further, please contact me.

Yours truly,



Derek McMurdie  
Planner  
(548) 877 0857  
[Derek.McMurdie@grey.ca](mailto:Derek.McMurdie@grey.ca)  
[www.grey.ca](http://www.grey.ca)

**From:** [Municipal Planning](#)  
**To:** [Elisha Milne](#)  
**Subject:** RE: Notice of Public Meeting - Zoning By-law Amendment Application C5-25 Ian S Martin  
**Date:** March 3, 2025 11:33:21 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)

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Thank you for your circulation.

Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions.

Please always call before you dig, see web link for additional details:  
<https://www.enbridgegas.com/safety/digging-safety-for-contractors>

Please continue to forward all municipal circulations and clearance letter requests electronically to [MunicipalPlanning@Enbridge.com](mailto:MunicipalPlanning@Enbridge.com).

Thank you,

**Casey O'Neil** (she/her)

Sr Analyst Municipal Planning

**Engineering**

—  
**ENBRIDGE**

TEL: 416-495-5180

500 Consumers Rd, North York, ON M2J1P8

[enbridge.com](http://enbridge.com)

**Safety. Integrity. Respect. Inclusion. High Performance.**

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**From:** Elisha Milne <[emilne@southgate.ca](mailto:emilne@southgate.ca)>

**Sent:** Friday, February 28, 2025 10:13 AM

**To:** Six Nations of the Grand River <[lonnybomberry@sixnations.ca](mailto:lonnybomberry@sixnations.ca)>; Bell Canada <[planninganddevelopment@bell.ca](mailto:planninganddevelopment@bell.ca)>; Bell Canada ROWCC <[rowcentre@bell.ca](mailto:rowcentre@bell.ca)>; Bluewater District School Board <[shelley\\_crummer@bwdsb.on.ca](mailto:shelley_crummer@bwdsb.on.ca)>; Bluewater District School Board <[jayne\\_bastarache@bwdsb.on.ca](mailto:jayne_bastarache@bwdsb.on.ca)>; Brenna Carroll <[bcarroll@southgate.ca](mailto:bcarroll@southgate.ca)>; chad.aitken@bgcdsb.org; Municipal Planning <[MunicipalPlanning@enbridge.com](mailto:MunicipalPlanning@enbridge.com)>; Ontario Lands <[ONTLands@enbridge.com](mailto:ONTLands@enbridge.com)>; Fire Chief <[firechief@southgate.ca](mailto:firechief@southgate.ca)>; Group\_PlanningDeptEmails <[Group\\_PlanningDeptEmails@grey.ca](mailto:Group_PlanningDeptEmails@grey.ca)>; Haudenosaunee <[info@hdi.land](mailto:info@hdi.land)>; Historic Saugeen Metis <[hsmlrcc@bmts.com](mailto:hsmlrcc@bmts.com)>; Hydro One <[landuseplanning@hydroone.com](mailto:landuseplanning@hydroone.com)>; Jim Ellis <[jellis@southgate.ca](mailto:jellis@southgate.ca)>; John Watson <[jwatson@southgate.ca](mailto:jwatson@southgate.ca)>; Juanita Meekins <[juanita.meekins@saugeenojibwaynation.ca](mailto:juanita.meekins@saugeenojibwaynation.ca)>; Ken Melanson <[kmelanson@southgate.ca](mailto:kmelanson@southgate.ca)>; Kevin Green <[kgreen@southgate.ca](mailto:kgreen@southgate.ca)>; Lacy Russell <[lrussell@southgate.ca](mailto:lrussell@southgate.ca)>; Lindsey Green <[lgreen@southgate.ca](mailto:lgreen@southgate.ca)>; Meagan Bruce <[M.Bruce@publichealthgreybruce.on.ca](mailto:M.Bruce@publichealthgreybruce.on.ca)>; Metis Nation of Ontario <[consultations@metisnation.org](mailto:consultations@metisnation.org)>; MMAH <[Tyler.Shantz@ontario.ca](mailto:Tyler.Shantz@ontario.ca)>;

Newdevelopment@rci.rogers.com; Phil Schram <pschram@southgate.ca>; Saugeen Ojibway Nation <associate.ri@saugeenojibwaynation.ca>; SVCA Planning <southgate@svca.on.ca>; ONTUGLLandsINQ <ONTUGLLandsINQ@enbridge.com>; Victoria Mance <vmance@southgate.ca>  
**Cc:** Bill White <bwhite@tritoneng.on.ca>

**Subject:** [External] Notice of Public Meeting - Zoning By-law Amendment Application C5-25 Ian S Martin

**CAUTION! EXTERNAL SENDER**

Were you expecting this email? TAKE A CLOSER LOOK. Is the sender legitimate?  
DO NOT click links or open attachments unless you are 100% sure that the email is safe.

Good afternoon,

Please find the below link for the Notice of Public meeting for Zoning By-law Amendment Application C5-25 Ian S Martin:

<https://www.southgate.ca/media/cljhmtxe/c5-25-notice-of-public-meeting-final.pdf>

Additional application documents can be found under the heading “Zoning By-law Amendment Applications - C5-25 Ian S Martin at the below link:

<https://www.southgate.ca/municipal-services/planning-and-land-use/planning-applications-and-public-notices/>

The Public Meeting is scheduled for **March 26, 2025, at 10:30 AM** in the Council Chambers located at 123273 Southgate Road 12, Holstein Ontario N0G 2A0 **and** electronically via Zoom. Please supply all comments on the above notification by **March 19, 2025**, so they may be included in the public agenda.

Comments can be received by:

Email: [emilne@southgate.ca](mailto:emilne@southgate.ca)  
Fax: 519-923-9262 Attn: Elisha Milne  
Mail: Elisha Milne, Legislative and Planning Coordinator  
185667 Grey County Road 9  
Dundalk, ON N0C 1B0

Thank you for your attention to this matter,

**Elisha Milne**

Legislative & Planning Coordinator

**Township of Southgate**

185667 Grey County Rd. 9, Dundalk, ON N0C 1B0

519-923-2110 ext. 232 | Fax 519-923-9262

[emilne@southgate.ca](mailto:emilne@southgate.ca) | [www.southgate.ca](http://www.southgate.ca)







**From:** [Lindsey Green](#)  
**To:** [Elisha Milne](#)  
**Subject:** FW: Request for Comments - Township of Southgate (Martin) - Proposed Zoning By-law Amendment  
**Date:** March 14, 2025 8:58:44 AM  
**Attachments:** [image002.png](#)

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**From:** hsmlrcc@bmts.com <hsmlrcc@bmts.com>  
**Sent:** March 13, 2025 4:16 PM  
**To:** Lindsey Green <lgreen@southgate.ca>  
**Subject:** Re: Request for Comments - Township of Southgate (Martin) - Proposed Zoning By-law Amendment

### **Township of Southgate**

#### **Re: File number C5-25**

The Historic Saugeen Métis (HSM) Lands, Waters and Consultation Department has reviewed the relevant documents and has no objection to the proposed Zoning By-law Amendment as presented.

Thank you for the opportunity to review this matter.

Regards,

Neala

Neala MacLeod Farley  
Coordinator, Lands, Waters & Consultation

Historic Saugeen Métis  
204 High Street  
Southampton, ON  
saugeenmetis.com  
519-483-4000



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**Township of Southgate**

185667 Grey County Road 9,  
Dundalk, ON N0C 1B0

**John Watson,**  
**Acting Public Works Manager**  
**jwatson@southgate.ca**



**Phone:** 519-923-2110 ext. 250

**Toll Free:** 1-888-560-6607

**Fax:** 519-923-9262

**Cell:** 519-373-7844

**Public Works Department**

Date: March 7, 2025

File No.: C5-25

Can a safe access be provided? Yes  No

Road Drainage Concern: None

Road Standard: Rural asphalt

Road Widening Necessary? Yes  No

Entrance Requirements: Commercial paved entrance required

Load Restricted Road: Yes  No

Comments: \_\_\_\_\_

Signed: \_\_\_\_\_



John Watson, Acting Public Works Manager

**From:** [Karen Gillan](#)  
**To:** [planning@grey.ca](mailto:planning@grey.ca)  
**Cc:** [Southgate Planning](#); [Lindsey Green](#); [RMO Mailbox](#); [Elisha Milne](#)  
**Subject:** RE: County comments for C5-25 Martin  
**Date:** March 17, 2025 2:23:08 PM

---

Good afternoon,

Please note that this property is not located in a vulnerable source protection area where policies under the local Source Protection Plan apply, therefore we have no comments on this application under the Clean Water Act.

Regards,

Karen Gillan  
Program Supervisor/Risk Management Inspector  
519.376.3076 Ext. 205  
237897 Inglis Falls Road  
Owen Sound, ON N4K 5N6  
[www.greysauble.on.ca](http://www.greysauble.on.ca)

---

**From:** [planning@grey.ca](mailto:planning@grey.ca) <[planning@grey.ca](mailto:planning@grey.ca)>  
**Sent:** March 17, 2025 1:52 PM  
**To:** [planning@southgate.ca](mailto:planning@southgate.ca); [lgreen@southgate.ca](mailto:lgreen@southgate.ca); [emilne@southgate.ca](mailto:emilne@southgate.ca); [RMO Mailbox](#) <[rmo@greysauble.on.ca](mailto:rmo@greysauble.on.ca)>  
**Subject:** County comments for C5-25 Martin

## County comments for C5-25 Martin



Hello Southgate,

Please see link(s) below for the County comments for Zoning application C5-25 Martin - Ian S Martin.

[County Comments C5-25 Martin.pdf](#)

Please note, a paper copy will not be provided unless requested.

Let us know if you have any questions.

Best regards,

Derek McMurdie

County of Grey, Owen Sound, ON

SENT ELECTRONICALLY ONLY: [emilne@southgate.ca](mailto:emilne@southgate.ca)

March 19, 2025

Township of Southgate  
185667 Grey Road 9  
RR 1  
Dundalk, Ontario  
N0C 1B0

ATTENTION: Elisha Milne, Legislative and Planning Coordinator

Dear Elisha Milne,

RE: Zoning By-law Amendment C5-25 (Ian S Martin)  
712507 Southgate Sideroad 71  
Part of Roll No.: 420709000508700  
Part Lot 216 Lot 217 Concession 4 SWTSR  
Geographic Township of Proton  
Township of Southgate

The above-noted application has been received by the Saugeen Valley Conservation Authority (SVCA) in accordance with the Mandatory Programs and Services Regulation (Ontario Regulation 686/21) made under the *Conservation Authorities Act* (CA Act). SVCA staff have reviewed the proposal for consistency with SVCA's environmental planning and regulation policies (<https://www.saugeenconservation.ca/en/permits-and-planning/resources/Environmental-Regulations/January-2019-Consolidated-Manual-Interim.pdf>) made in conformance with the Provincial Planning Statement, CA Act, O. Regulation 41/24, and associated provincial guidelines. Where a Memorandum of Agreement (MOA) exists between a planning partner and the SVCA, staff have reviewed the application for conformity with the natural hazard policies of the applicable Municipality or County.

### **Purpose**

The purpose of the application is to permit an on farm diversified use (dry manufacturing – woodworking) on the subject lands within a proposed +-4252 square metre zoned area. The proposed workshop and skid steer power room would have a maximum combined area of +-625 square meters

with +-300 square meters of outdoor storage. The on farm diversified use would be operated secondary to proposed farmhouse, shed and barn.

### **Recommendation**

The proposed application is generally acceptable to SVCA staff.

### **Documents Reviewed by Staff**

Staff have received and reviewed the following documents submitted with this application:

- 1) Application form, dated February 2025;
- 2) Site Plan, dated February 7, 2025;
- 3) Notice of Complete Application and Public Meeting, dated February 28, 2025.

### **Background**

Regarding this property, SVCA staff had previously reviewed and provided comments to planning application: B12-21; and SVCA had issued SVCA permit 21-329 for filling and grading within a wetland to install a new laneway. As part of the proposal, SVCA had required that both a floodplain study and EIS be completed. The purpose of the floodplain study was to determine safe access was available to the property. Both the floodplain study and the EIS were determined to be acceptable to SVCA staff.

### **Site Characteristics**

Current SVCA mapping shows that large areas of the property are within the SVCA's Screening Area. The natural hazard features affecting the property include wetland/swamps and any floodplain of the wetland/swamps.

Areas of the property are mapped as Hazard Lands in the Grey County OP and Township of Southgate OP, and zoned EP in the Township of Southgate Zoning By-law. As part of the application, SVCA recommends that that the Hazard Land Area designation and EP zone could be revised slightly, to be made smaller, to best represent site conditions in the proposed farmstead area of the property. Please find attached SVCA mapping, showing SVCA's recommended EP zone or Hazard Land Area designation.

Based on the site plan submitted with the application, the proposed areas to be rezoned for OFDU (on-farm diversified use) will not be within the recommended EP zone or Hazard Land Area designation.

### **Provincial Planning Statement (PPS, 2024)**

In accordance with s. 7 of O. Regulation 686/21, SVCA shall act on behalf of the Province or as a public body under the *Planning Act* (PA) to ensure municipal decisions made under the PA are consistent with the natural hazards policies of the PPS, Chapter 5.

Sections 5.1 and 5.2 of the PPS, 2024 states in part that development shall be directed away from areas of natural or human-made hazards where there is an unacceptable risk to ...and not create new or aggravate existing hazards.

It is the opinion of the SVCA that the proposal is consistent with sections 5.1 and 5.2 of the PPS, 2024.

## **Township of Southgate and County of Grey Official Plan Policies**

The following comments are made in accordance with MOU with the Township of Southgate.

As mentioned above, areas of the property are mapped as Hazard Lands in the Grey County OP and Township of Southgate OP, and zoned EP in the Township of Southgate Zoning By-law. As part of the application, SVCA recommends that the Hazard Land Area designation and EP zone could be revised slightly, to be made smaller, to best represent site conditions in the proposed farmstead area of the property. Please find attached SVCA mapping, showing SVCA's recommended EP zone or Hazard Land Area designation.

Based on the plan submitted with the application, the existing and proposed areas to be rezoned for OFDU (on-farm diversified use) will not be within the recommended EP zone or Hazard Land Area designation.

Section 5.5.2 of the Southgate OP and Section 7.2.3 of the Grey County OP state in part that buildings and structures are generally not permitted in the Hazard Lands land use type. Based on the plan submitted with the proposal, the proposal would be consistent with the Southgate OP and Grey County OP.

### **Conservation Authorities Act and O. Regulation 41/24**

Within SVCA's regulated areas and in accordance with the CA Act and O. Regulation 41/24, a permit from the SVCA is required to change or interfere with watercourses or wetlands and for development activities in or adjacent to hazardous lands, wetlands, river or stream valleys, Great Lakes and inland lake shorelines. When reviewing an application, SVCA staff must assess the proposal for impacts to the control of flooding, erosion, dynamic beaches, or unstable soil or bedrock, and ensure the activity will not create conditions or circumstances that, in the event of a natural hazard, might jeopardize the health or safety of persons or result in the damage or destruction of property. Provided staff are satisfied the proposal is consistent with SVCA's policies, designed to mitigate these risks, a permit can be issued.

To determine the SVCA Approximate Regulated Area on the property, please refer to the SVCA's online mapping, available via SVCA's website

<https://camaps.maps.arcgis.com/apps/webappviewer/index.html?id=f0ec744c8d6d4e499895aaaab3d83761>.) Should you require assistance, please contact our office directly.

#### **SVCA Permit**

Based on the plan submitted with the application, the area to be rezoned will slightly encroach into the SVCA Approximate Screening Area, however, the farmstead area is proposed more than 30 metres from any wetland/swamp edge, and more than 15 metres from any floodplain edge, and so the development as shown on the site plan as proposed, will not require a permit from the SVCA.

### **Drinking Water Source Protection**

The subject property appears to SVCA staff to not be located within an area that is subject to the local Drinking Water Source Protection Plan.



**Summary**

SVCA staff have reviewed the proposal for consistency with SVCA’s policies made in conformance with the Provincial Planning Statement, CA Act, O. Regulation 41/24, and associated provincial guidelines. Where a Memorandum of Agreement (MOA) exists between a planning partner and the SVCA, staff have reviewed the application for conformity with the natural hazard policies of the applicable Municipality or County.

Given the above comments, it is the opinion of the SVCA staff that:

- 1) Consistency with the Natural Hazard policies of the PPS, Chapter 5 has been demonstrated.
- 2) Consistency with local planning policies for natural hazards has been demonstrated.

Please inform this office of any decision made by the planning approval authority regarding the application. We respectfully request to receive a copy of the decision and notice of any appeals filed.

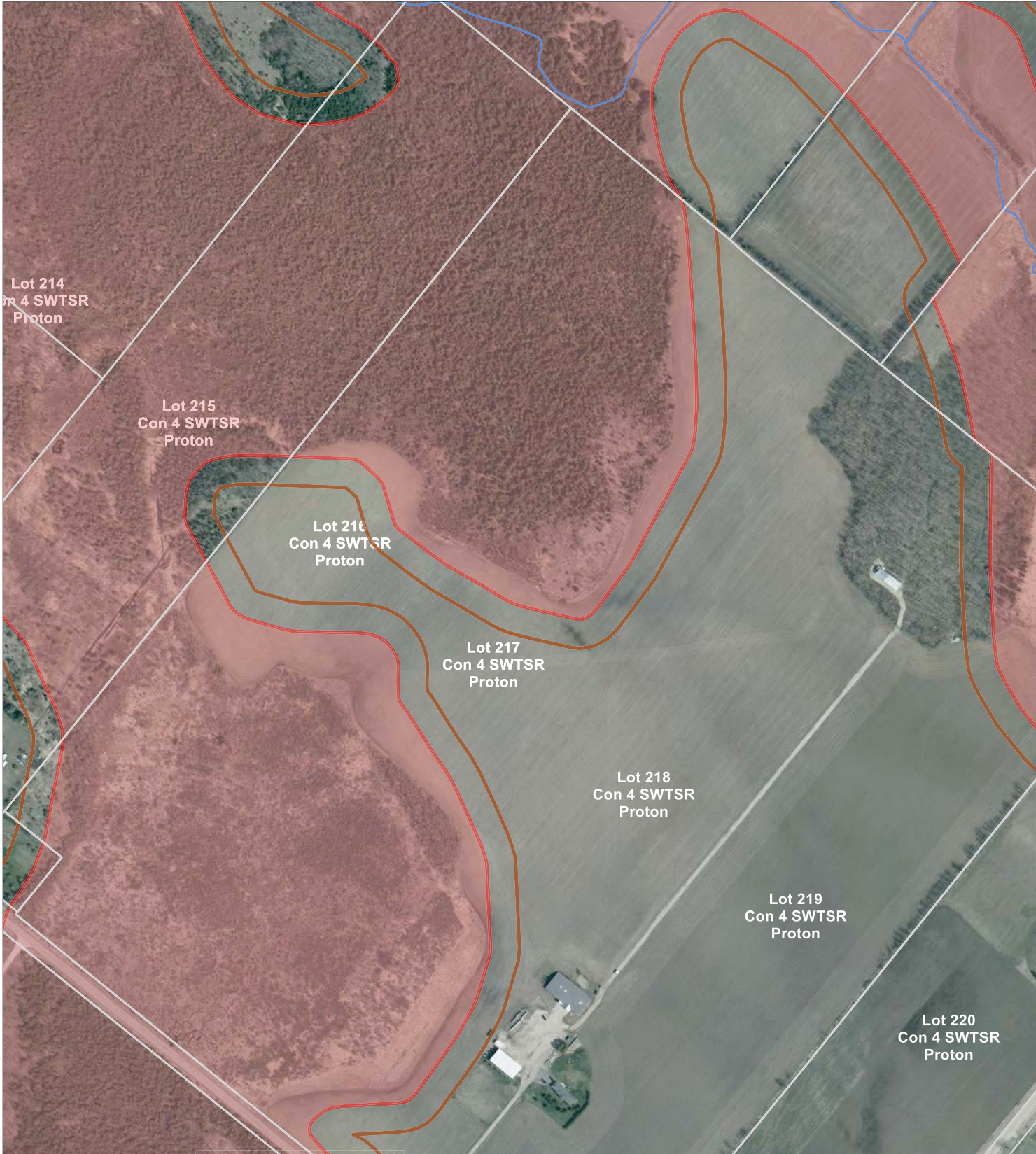
Should you have any questions, or require this information in an accessible format, please contact the undersigned.

Sincerely,

Michael Oberle  
Environmental Planning Technician  
Saugeen Conservation  
MO/

Enclosure: SVCA map

cc: Solomon Martin, agent (via email)  
Barbara Dobreen, Authority Member, SVCA (via email)

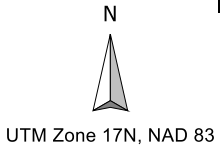


The included mapping has been compiled from various sources and is for information purposes only. Saugeen Valley Conservation Authority (SVCA) is not responsible for, and cannot guarantee, the accuracy of all the information contained within the map.



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1:5500

### Legend

- Hazard Land/ SVCA recommended EP zone
- SVCA Approximate Screening Area limit
- Watercourse
- Parcel Fabric

C5-25 (Ian S Martin)  
 712507 SG SDR 71  
 Part of Roll No.:  
 420709000508700  
 Pt Lt 216 Lt 217  
 Con 4 SWTSR Proton  
 Township of Southgate

210

March 17, 2025